



**STATE OF HAWAII**  
DEPARTMENT OF HUMAN SERVICES  
HAWAII PUBLIC HOUSING AUTHORITY  
1002 NORTH SCHOOL STREET  
P.O. BOX 17907  
Honolulu, Hawaii 96817

**BARBARA E. ARASHIRO**  
EXECUTIVE ASSISTANT

**ADDENDUM NO. 1**

TO THE  
PLANS AND SPECIFICATIONS  
FOR  
FURNISHING LABOR AND MATERIALS  
REQUIRED FOR

**PALOLO VALLEY HOMES MODERNIZATION, PHASE 3**  
HONOLULU, OAHU, HAWAII  
Tax Map Key No.: (1) 3-004-015

HPHA Job No. 15-016-108-Z  
IFB-CMB-2016-17

May 23, 2016

The items listed hereinafter are hereby made a part of the contract for the above project and shall govern the work, taking precedence over previously issued plans and specifications governing the items mentioned.

**I. PRE-BID MEETING**

- A. Pre-bid meeting minutes, attendance sheet and agenda attached (7 pages).

**II. CHANGES TO SPECIFICATIONS**

- A. FORM OF BID (PROPOSAL)  
1. Page B-3, para. 5: delete "300" and replace with "330"
- B. TIME OF PERFORMANCE  
1. Para. 1: delete "270" and replace with "330"

- C. Section 01010 – Summary of Work
  - 1. Add the following sentence at end of paragraph 1.05 A. 3:
    - a. “The Contractor will have one week to move tenants’ furniture, appliances and belongings in Phase 1; two weeks for Phase 2.”
- D. Section 01500 TEMPORARY CONTROLS
  - 1. Para. 3.01: Revise heading from “SEWER REPAIR WORK” to “SEWER REPLACEMENT WORK”
  - 2. Delete para. D (1 thru 3) and para. E (1 thru 6).

**III. CHANGES TO PLANS**

- A. The following drawing sheets have been revised and marked Rev. 1 dated 5/19/16 (see attached). The revised sheet shall supersede the original liked plan sheet (general descriptions are noted hereinafter):
  - 1. Drawing No. C-301
    - a. Revised sewer alignment for Building 11A.
    - b. Revised Note.
  - 2. Drawing No. C-302
    - b. Added Notes and callouts.
  - 3. Drawing No. C-303
    - a. Revised sewer alignment for Building 11A.
    - b. Revised sewer lateral size for Building 13 within City sewer easement
    - c. Added COTG to Building 13 sewer lateral outside of City sewer easement.
    - d. Added note and callout.
  - 4. Drawing No. A-101
    - a. Revised notes.
  - 5. Drawing No. A-102
    - a. Added note.
  - 6. Drawing No. A-103
    - a. Revised notes.
  - 7. Drawing No. A-104
    - a. Added note.
  - 8. Drawing No. A-105
    - a. Revised notes.

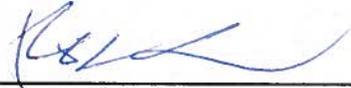
9. Drawing No. A-107
  - a. Revised notes.
10. Drawing No. A-503
  - a. Revised note.

#### **IV. MISCELLANEOUS**

- A. In addition to infilling the gap between the exterior wall and laundry room wall at Buildings 10 thru 13 (Phase 3 Buildings), the contractor shall infill the gaps between the exterior wall and laundry room wall at Buildings 14 thru 20.
- B. All HPHA approved air conditioning units shall be removed by the Contractor from each unit prior to construction and installed in relocated unit. The Contractor shall provide all labor and materials (brackets, infill, etc) to re-install the HPHA approved air conditioning units as approved by HPHA. Up to five (5) units shall be allowed for relocation by the Contractor. Contractor to ensure that window opening in Bedrooms and Living Rooms comply with the "Emergency Escape and Rescue" opening requirements.
- C. Washing machines are tenant owned, and shall be removed and relocated by Contractor.
- D. Provide power for air monitoring consultant during Hazardous Material Abatement.
- E. During Hazardous Material Abatement, HPHA's Environmental Consultant will be conducting air monitoring. The air monitoring consultant's hours are limited to 12 days per phase (two phases), based on eight (8) hours per day. Any hours over the allocated consultant hours shall be paid by the Contractor at no additional cost to the State.
- F. Sewage Leak: Building 10, possibly Building 12, experienced a sewage leak. A hazardous material consultant will be hired by the State to test the soil below the slab for possible contamination prior to start of construction. A post-contract document shall be issued sometime in November/December based on the results of the investigation for possible remediation of contaminated soil and structural damage repairs resulting from the sewage leak.
- G. Contractor to provide a 30 yd dumpster during both relocation phases for bulky storage removal. Contractor to include costs for disposal.

All other items and conditions shall remain in full force and effect.

Approved by:



---

Rick T. Sogawa  
Procurement Officer



MEMORANDUM

May 13, 2016

To: File  
HPHA, Lisa Izumi

Project: HPHA Palolo Valley Homes, Phase 3  
2136 Ahe Street  
Honolulu, Oahu, Hawaii  
TMK: (1) 3-004-015  
IFB-CMB-2016-17  
HPHA JOB NO. 15-016-108-Z

Re: Pre-Bid Meeting Minutes

---

Date of Meeting: May 13, 2016, 1:30 PM  
Location of Meeting: Palolo Valley Homes

People Present: See attached attendance sheet.

The meeting was facilitated by Lisa Izumi, HPHA Project Engineer.

- A. BID PROCEDURE and PROCUREMENT shall be per Pre-Bid Meeting Agenda dated 5/13/16.
- B. The following was explained/clarified to the Bidders:
1. Wages shall be the higher of the worker's prevailing wages for federal/state. Note estimated start of construction date of March 2017.
  2. Only responses to questions issued as an RFI and responded to in an addendum are valid.
  3. Project Phasing, see also specifications:
    - a. The first phase of this project shall include Buildings 10 and 11.
    - b. The second phase of this project shall include Buildings 12 and 13, and parking lot C.
  4. The Contractor shall coordinate staging area with HPHA.
  5. The Contractor shall be aware that Buildings 8 and 9 will be occupied during repair work of existing retaining wall, Contractor shall plan work accordingly.

6. Contractor to note the following:
  - a. The existing ground floor slab consists of precast concrete planks. The Contractor shall take precautions when drilling/cutting floor slab and not cut rebars.
  - b. All painting shall be by roller/brush as follows:
    - i. Paint guardrail/handrail at new metal stairs leading to second floor units.
    - ii. Do not paint galvanized metal guardrail/handrail at front entry concrete stair
    - iii. Do not paint galvanized metal clothesline posts. Joints shall be welded and galvanize painted at shop (not at project site). No cold spray galvanized paint.
7. Provide continuous sealant at all millwork/wall joints, and at top and bottom of wall base.
8. The Contractor shall verify all window opening sizes prior to ordering windows. Comply with code requirements for installation of "Emergency and Egress Rescue" windows at bedrooms and at living rooms.
9. Each phase of painting shall have a written acceptance by HPHA inspector, Eric Richards. Note that preparation of surface prior to painting is key to a good finish.
10. Fall protection anchors: Contractor shall hire a safety specialist to determine quantity, locations, loading, etc. of anchors designed to comply with OSHA requirements.
11. Gutters, downspouts and splash blocks shall be provided at Buildings 14 thru 20.
12. In addition to infilling the gap between the exterior wall and laundry room wall at Buildings 10 thru 13 (Phase 3 Buildings), the contractor shall infill the gaps between the exterior wall and laundry room wall at Buildings 14 thru 20.
13. Contractor shall remove existing storage container near Building 14 and replace with new storage container. Coordinate with HPHA.
14. Removal of window unit air conditioning units are not the responsibility of the contractor. **Retracted:** HPHA decided that all HPHA approved air conditioning units shall be removed by the Contractor from each unit prior to construction and installed in relocated unit. The Contractor shall provide all labor and materials (brackets, infill, etc) to re-install the HPHA approved air conditioning units as approved by HPHA. Up to five (5) units shall be allowed for relocation by the Contractor. Contractor to ensure that window opening in Bedrooms and Living Rooms comply with the "Emergency Escape and Rescue" opening requirements.
15. Include downtime for relocation of tenants, refer to Addendum #1 for revised specifications for time allocation for each phase.
16. Provide power for air monitoring consultant during Hazardous Material Abatement.
17. Clarification: During Hazardous Material Abatement, HPHA's Environmental Consultant will be conducting air monitoring. The air monitoring consultant's hours are limited to 12 days per phase (two phases), based on eight (8) hours per day. Any hours over the

allocated consultant hours shall be paid by the Contractor at no additional cost to the State.

18. Installation of solid surface surround shall be installed in the presence of the HPHA Inspector.

C. Clarification of bid items:

1. Crack, spall, CMU wall repair: Repairs over 15% of the declared estimated quantities shall be included in a proposal request, and repairs below 15% shall be included in a change order for credit based on the unit prices declared in the Form of Bid. Actual quantities must be agreed upon by HPHA inspector, Eric Richards. Quantities beyond 15% require prior approval by HPHA, coordinate all inspections with Eric.
2. Costs for relocation of tenants during construction: Provide unit cost for relocation of each type of unit (include cost of boxes in unit cost) multiplied by the number of units in Bid Proposal. Change orders for additional moves or credit for non-relocation of tenants shall be based on declared unit cost. Note that washing machines are tenant owned, and shall be removed and relocated by Contractor.

D. Sewage leak:

1. Building 10, possibly Building 12, experienced a sewage leak. A hazardous material consultant will be hired by the State to test the soil below the slab for possible contamination prior to start of construction. A post-contract document shall be issued sometime in November/December based on the results of the investigation for possible remediation of contaminated soil and structural damage repairs resulting from the sewage leak.

HAWAII PUBLIC HOUSING AUTHORITY

**PRE-BID MEETING AGENDA**

Palolo Valley Homes Modernization, Phase 3  
HPHA Job No. 15-016-108-Z, IFB-CMB-2016-17  
May 13<sup>th</sup>, 2016, 1:30 p.m.

A. WELCOME & INTRODUCTION

- Welcome by HPHA Project Engineer
- Introduction of Project Team & HPHA Staff

B. BID PROCEDURE

- Bid opening date is June 9, 2016 at 2:00p.m.
- Deadlines:
  - Request for Information – May 26<sup>th</sup>, 2016
  - Notice of Intent to Bid – May 27<sup>th</sup>, 2016 at 4:00 p.m. Intend to bid shall be faxed or email to HPHA office. The Contractor shall call to confirm if HPHA received it.

C. PROCUREMENT

- Bid Submittal – sealed envelope marked clearly “Sealed Bid for IFB”
  - Bid Offer Form (s) with acknowledgement of addenda; inclusive of tax; check math; correct, full company name as registered to do business.
  - Don't add any conditions to the bid. It may disqualify the bid.
  - List all sub-contracts and their licenses. Prime shall list himself if performing the work. Missing any subcontractor may disqualify the bid.
  - Will be required to pay all workers prevailing wage for federal/state. Bid to account for estimated start of March 2017 pending building permit.
  - Will be required to comply with Federal Section 3 requirements.
  - Section 103-55.6, HRS-2012, (Act 17) Hawaii Apprenticeship preferences. If selected to use, you must comply with monthly documentation requirements.
  - Chapter 103B, HRS-2012 (Act 68) – hiring of Hawaii Residents is in force. Reporting will be required.
- You'll be held to the full scope of the project.
- Clarifications given verbally are NOT considered valid until it is issued in writing.
- Contract Period is 330 calendar days inclusive of all submittals and lead time for materials.
- Other required documents
  - Corporate Resolution
  - Representations, Certification and Other Statements of Bidders, HUD 5369-A
  - HCE Compliance (Dept. of Taxation, DCCA, DLIR clearance)
  - Insurance Certificate (“additional insured”, current within 30 days; Notice of Cancellation within 30 days; required for all supplemental contracts, as well)
- Award
  - Lowest responsive, responsible bidder
  - Complete Form of Bid

D. QUESTIONS & DISCUSSION

Addendum will be issued to include any question or RFI came during the pre-bid meeting or before the bid date.

E. PROJECT OVERVIEW/ SITE INSPECTION

PALOLO VALLEY HOMES MODERNIZATION PHASE 3

PRE-BID MEETING – CIVIL NOTES

MAY 13, 2016

Site Contractor shall be aware of the following items:

A. PLANS

1. Read the “Notes” shown on the Construction Drawings as there are special circumstances that pertain to each plan.
2. A certified compaction report that is prepared by a licensed engineer is required at the end of the project in order to close the grading permit. Field density reports should be turned in to the HPHA Inspector.

B. WATER SYSTEM

Connection to the lower water system across Ahe Street will be required.

C. CLOTHESLINE PADS/POSTS

1. Pads shall be sloped to drain.
2. Posts are either 4-ft. or 6-ft. as shown on plans. Width to be similar to existing.

D. SEWER

1. The main sewer line behind Building 13 needs to be “live”. Therefore, the contractor may need to install a sewer bypass when constructing the new sewer. Existing sewer is too close to Building 13 building corner.
2. Note that all the sewer laterals within the City’s sewer easement is 6 inches and will reduce to a 4-inch after the cleanout. Plans will be revised for Building 13 and will be issued as part of Addendum No. 1. Details are shown in Dwg. C-504.
3. We assume that we can connect to the existing sewer wyes. Therefore, the plan views 1 thru 3 on Dwg. C-505 were developed and it depends on where the new connection to the building is. However, Plan View-4 is if the line needs to be cut. However, keep in mind that the sewer service is required for all occupied buildings. Therefore, a bypass may be required. Also, the existing proposed sewer wyes need to be supported during the installation of the new sewer lateral to prevent cracking.

4. For precast structures, the voids should not exceed 3" around the incoming pipe. Pipe opening should be shown on the shop drawings.
5. The sewer for the half bath in front of Building 11 will be revised to connect to the existing sewer behind Building 11 and will be issued as part of Addendum No. 1.

D. GAS

1. Existing gas lines behind Buildings 10 and 11 will be inserted with a smaller diameter pipe. New gas lines will be installed behind Buildings 12 and 13. These lines will follow the proposed waterlines. Work should be coordinated with Hawaii Gas.

E. DEMOLITION

1. All vegetation, tree stumps, and personal fences.

F. PARKING LOT STRIPING

1. Parking lot striping should be Traffic Paint in accordance with the specs. Please note that the affidavits from the paint supplier and the manufacturer's certificate of formulation should be submitted. Also, any striping shall be redone if it looks faded at the 1-year inspection.

G. GRADING/WALKWAY ELEVATIONS

1. The dirt needs to be within an inch of the existing walkways. Contractor will need to fill in dirt as needed.
2. The majority of walkways will be reconstructed. The existing walkway grades shall be held except as noted on the plans. Intent is to do minimal grading; however, there should not be any ponding in front of doorways, especially in back of Building 12. Low spots may need to be created in the grassed areas, especially between walkways and clothesline pads.

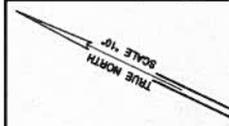
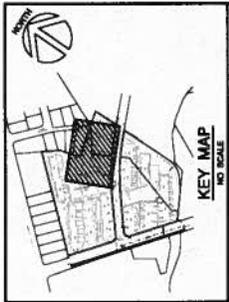
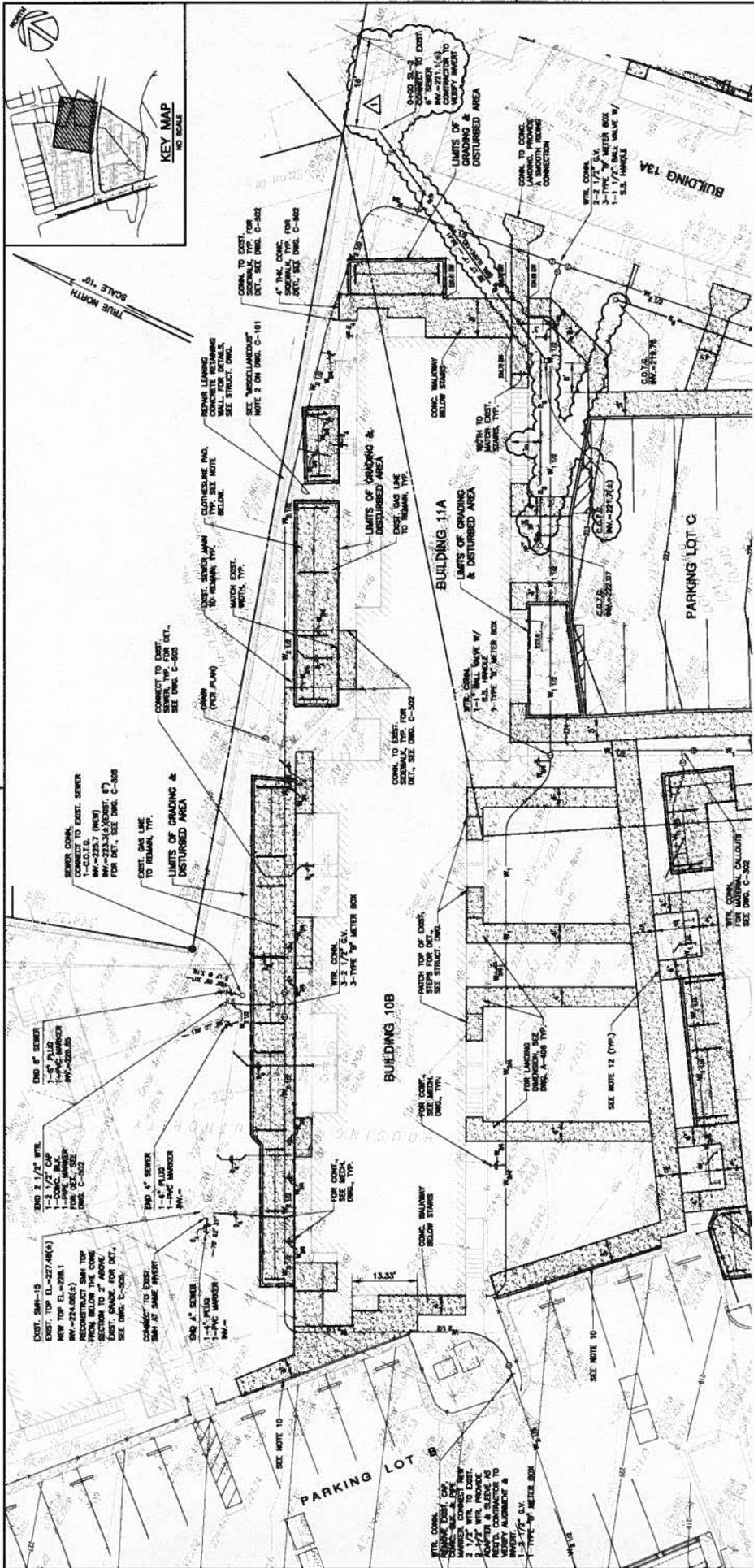
H. GRASSING

1. Grassing of all disturbed areas, including trenched areas, will be required to close the grading permit. Grassing should be similar to surrounding areas.

I. NPDES PERMIT

The Contractor will be responsible for preparing the Storm Water Pollution Prevention Plan (SWPPP with the assistance of the engineer as part of the NPDES permit.





NO. 10	DATE	DESCRIPTION
10-1	10/10/10	REVISED FOR 1/10 REV. NOTES
10-2	10/10/10	REVISED FOR 2/10 REV. NOTES
10-3	10/10/10	REVISED FOR 3/10 REV. NOTES
10-4	10/10/10	REVISED FOR 4/10 REV. NOTES
10-5	10/10/10	REVISED FOR 5/10 REV. NOTES
10-6	10/10/10	REVISED FOR 6/10 REV. NOTES
10-7	10/10/10	REVISED FOR 7/10 REV. NOTES
10-8	10/10/10	REVISED FOR 8/10 REV. NOTES
10-9	10/10/10	REVISED FOR 9/10 REV. NOTES
10-10	10/10/10	REVISED FOR 10/10 REV. NOTES

DEPARTMENT OF HUMAN SERVICES  
 PALO ALTO VALLEY HOMES MODERNIZATION PHASE 3  
 (BUILDING 10 & 11)  
 ENGINEER: [Signature]  
 PROJECT NO.: 10-10-10-3  
 SHEET NO.: C-301  
 DATE: 10/10/10

**ESTIMATED EARTHWORK QUANTITIES:**  
 (FOR POSTER PURPOSES ONLY)

AREA TO BE GRASSED/DISTURBED:	0.08 AC.
AREA TO BE GRASSED:	0.07 AC.
AREA TO BE DISTURBED:	0.18 AC.
TOTAL:	0.33 AC.
AREA OF DISTURBANCE:	0.18 AC.
PAVING LOT 10:	0.104 AC.
TOTAL:	0.104 AC.
TOTAL AREA OF DISTURBANCE:	0.28 AC.
EXCAVATION:	341 CU. YD.
EMBANKMENT:	5 CU. YD.

SCALE 1/8" = 10'  
 GRAPHIC SCALE  
 SCALE 1/8" = 10'

**NOTES:**

- CONTRACTOR SHALL PROVIDE FITTINGS & ADAPTERS AS REQUIRED.
- WHERE UTILITY LINES CROSS EXISTING SIDEWALK, SANICUT LINE, CONC. SIDEWALK AT NEAREST SIDEWALK OR JOINT LINE. FOR DETAIL OF NEW SIDEWALK, SEE DWG. C-302.
- WATER LATERALS SHALL AVOID CLOTHESLINE POSTS.
- IF SEWER LATERALS AFFECT CLOTHESLINE POSTS, ADJUST CLOTHESLINE POST LOCATION AS REQUIRED. FOR FOOTING DETAIL, SEE DWG. C-302.
- SEWER LATERALS SHALL BE INSTALLED WITH SAME GRASS AS SURROUNDING AREAS.
- FOR CLOTHESLINE PG DETAIL, SEE DWG. C-303.
- REMOVE ALL ABOVE GROUND VEGETATION EXCEPT THOSE REMOVAL OF VEGETATION WITH SAME GRASS AS SURROUNDING AREAS.
- FOR EXISTING WALKWAYS, CONTRACTOR SHALL GRASS GRASS AS SHOWN BELOW EXIST. WALKWAY GRADE (SEE DWG. C-302).

**LEGEND:**

- PROPERTY LINE
- EXIST. CHAIN LINK FENCE
- EMBANKMENT LINE
- EXIST. SEWER
- EXIST. WATER
- EXIST. DRAIN
- EXIST. GAS
- EXIST. ELECTRICAL
- EXIST. WATER
- NEW WATER LATERAL
- NEW SEWER LATERAL
- NEW CONC. SIDEWALK FOR DETAIL, SEE DWG. C-302
- NEW FENCE

**NOTES:**

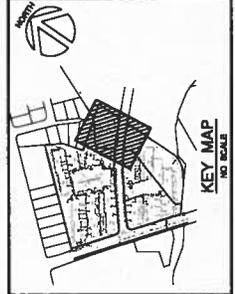
- CONTRACTOR SHALL PROVIDE FITTINGS & ADAPTERS AS REQUIRED.
- WHERE UTILITY LINES CROSS EXISTING SIDEWALK, SANICUT LINE, CONC. SIDEWALK AT NEAREST SIDEWALK OR JOINT LINE. FOR DETAIL OF NEW SIDEWALK, SEE DWG. C-302.
- WATER LATERALS SHALL AVOID CLOTHESLINE POSTS.
- IF SEWER LATERALS AFFECT CLOTHESLINE POSTS, ADJUST CLOTHESLINE POST LOCATION AS REQUIRED. FOR FOOTING DETAIL, SEE DWG. C-302.
- SEWER LATERALS SHALL BE INSTALLED WITH SAME GRASS AS SURROUNDING AREAS.
- FOR CLOTHESLINE PG DETAIL, SEE DWG. C-303.
- REMOVE ALL ABOVE GROUND VEGETATION EXCEPT THOSE REMOVAL OF VEGETATION WITH SAME GRASS AS SURROUNDING AREAS.
- FOR EXISTING WALKWAYS, CONTRACTOR SHALL GRASS GRASS AS SHOWN BELOW EXIST. WALKWAY GRADE (SEE DWG. C-302).

**LEGEND:**

- PROPERTY LINE
- EXIST. CHAIN LINK FENCE
- EMBANKMENT LINE
- EXIST. SEWER
- EXIST. WATER
- EXIST. DRAIN
- EXIST. GAS
- EXIST. ELECTRICAL
- EXIST. WATER
- NEW WATER LATERAL
- NEW SEWER LATERAL
- NEW CONC. SIDEWALK FOR DETAIL, SEE DWG. C-302
- NEW FENCE

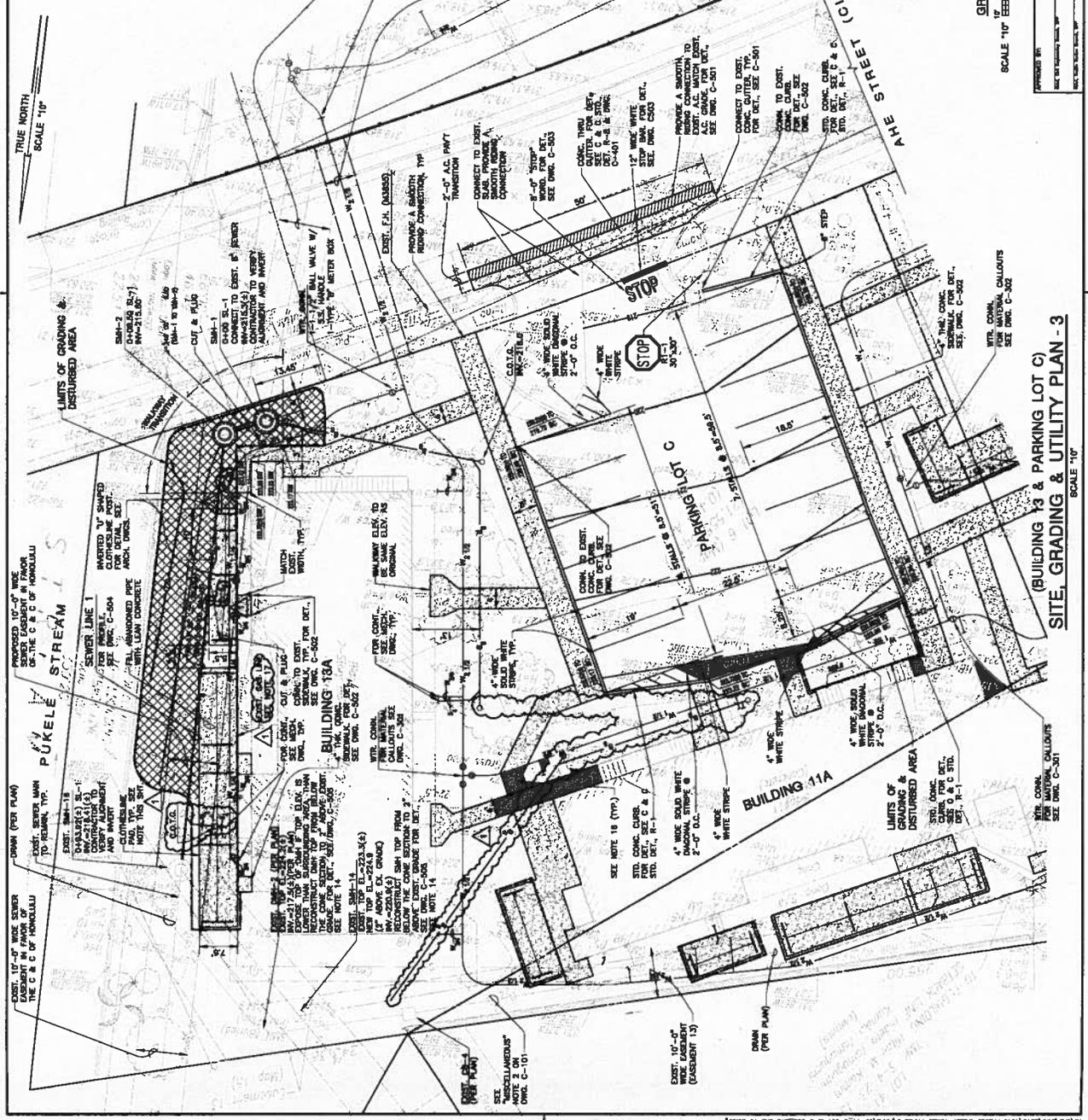
**SITE, GRADING & UTILITY PLAN - 1**  
 (BUILDING 10 & 11)  
 SCALE 1/8" = 10'





- NOTES:**
1. CONTRACTOR SHALL PROVIDE FITTINGS & ADAPTERS AS REQUIRED.
  2. UTILITY LINES CROSSING EXISTING CHANNELS SHALL BE PROTECTED BY A 12" WIDE CONCRETE CURB ON TOP OF EXISTING CHANNEL. SEE DWG. C-302 FOR DETAIL OF NEW SIDEWALK. SEE DWG. C-303.
  3. WATER LATERALS SHALL HAVE EXISTING OUTSIDE-LINE POSTS.
  4. IF SEWER LATERAL AFFECTS EXISTING OUTSIDE-LINE POSTS, ADJUST LOCATION AS REQUIRED. FOR FOOTING DETAIL SEE DWG. C-303.
  5. WHERE UTILITY LINES CROSS EXISTING CONCRETE CURBS, SEE DWG. C-301.
  6. WHERE UTILITY LINES CROSS EXISTING CHAIN LINK FENCE, REPLACE CHAIN LINK FENCE FABRIC AND POSTS AS REQUIRED. FOR DETAIL SEE C & C STD. DETAIL R-18.
  7. FOR PAVEMENT PLAN, SEE DWG. C-401.
  8. GRASS AREAS DISTURBED BY TRENCHING WITH SAME GRASS AS SURROUNDING AREA.
  9. FOR CLOTHESLINE PAD DETAIL, SEE DWG. C-303.
  10. REMOVE ALL ARBoreal VEGETATION EXCEPT THOSE TREES INDICATED TO REMAIN. GRASS AREAS DISTURBED BY TRENCHING SHALL BE RESEED WITH SAME GRASS AS SURROUNDING LOCAL SURROUNDING LOCAL.
  11. FOR EXISTING WALKWAYS, CONTRACTORS SHALL GRASS SURROUNDING AREAS AS REQUIRED, SUCH THAT FINISH GRADE IS ONE INCH BELOW EXIST. WALKWAY GRADE (SEE DWG. C-302).
  12. CONTINUOUS UTILITY SERVICE SHALL BE PROVIDED TO ALL EXISTING BUILDINGS. PROVIDE TEMPORARY SERVICE BYPASS AS REQUIRED.
  13. CONTRACTOR SHALL ALSO INSTALL CHAIN LINK FENCE POST FOOTING ON TOP OF THE EXISTING 8-INCH SEWER AND 12" DRAIN.
  14. CONTRACTOR SHALL REMOVE VEGETATION, AS REQUIRED, TO EXPOSE/RECONSTRUCT UNPAVED.
  15. CONTRACTOR SHALL INSTALL EROSION CONTROL MAT IN ALL EXPOSED AREAS. CONTRACTOR SHALL PROVIDE AND MAINTAIN GRASS SLIPES WITH SAME GRASS AS SURROUNDING AREAS AFTER FINAL GRADING HAS BEEN ATTAINED. IF EROSION CONTROL MAT AND GRASSING ARE NOT MAINTAINED, CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ALL BELLS OBSERVED.
  16. CONTRACTOR TO CONTRACT NEW WALKWAYS SIMILAR TO EXISTING WALKWAYS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS.
  17. CONTRACTOR SHALL PROVIDE GAS SERVICE TO ALL GAS LINE BOARD BLDG. 13 AND SAME WATERLINE TRENCH.

- LEGEND:**
- PROPERTY LINE
  - EXIST. CHAIN LINK FENCE
  - BASEMENT LINE
  - EXIST. SEWER
  - EXIST. WATER
  - EXIST. DRAIN
  - EXIST. GAS
  - EXIST. ELECTRICAL
  - NEW WATER
  - NEW WATER LATERAL
  - NEW SEWER LATERAL
  - CONCRETE CURB
  - EROSION CONTROL MAT
  - NORTH AMERICAN GREEN
  - APPROVED EQUAL



DEPARTMENT OF PUBLIC SERVICES  
HAWAII PUBLIC WORKS AUTHORITY

PALOALO VALLEY HOMES MODERNIZATION PHASE 3

SITE GRADING & UTILITY LOT C-3  
(BLDG. 13 & PARKING LOT C)

ENGINEERED BY: ENGINEERING CONCEPTS, INC.  
DATE: 10/19/2017  
PROJECT NO.: C-303

SCALE: 1" = 10'

NO.	REVISION	DATE
1	ISSUED FOR PERMITS	10/19/2017
2	REVISED PER COMMENTS	11/14/2017
3	REVISED PER COMMENTS	01/06/2018

GRAPHIC SCALE  
SCALE 1" = 10'

1" = 10'

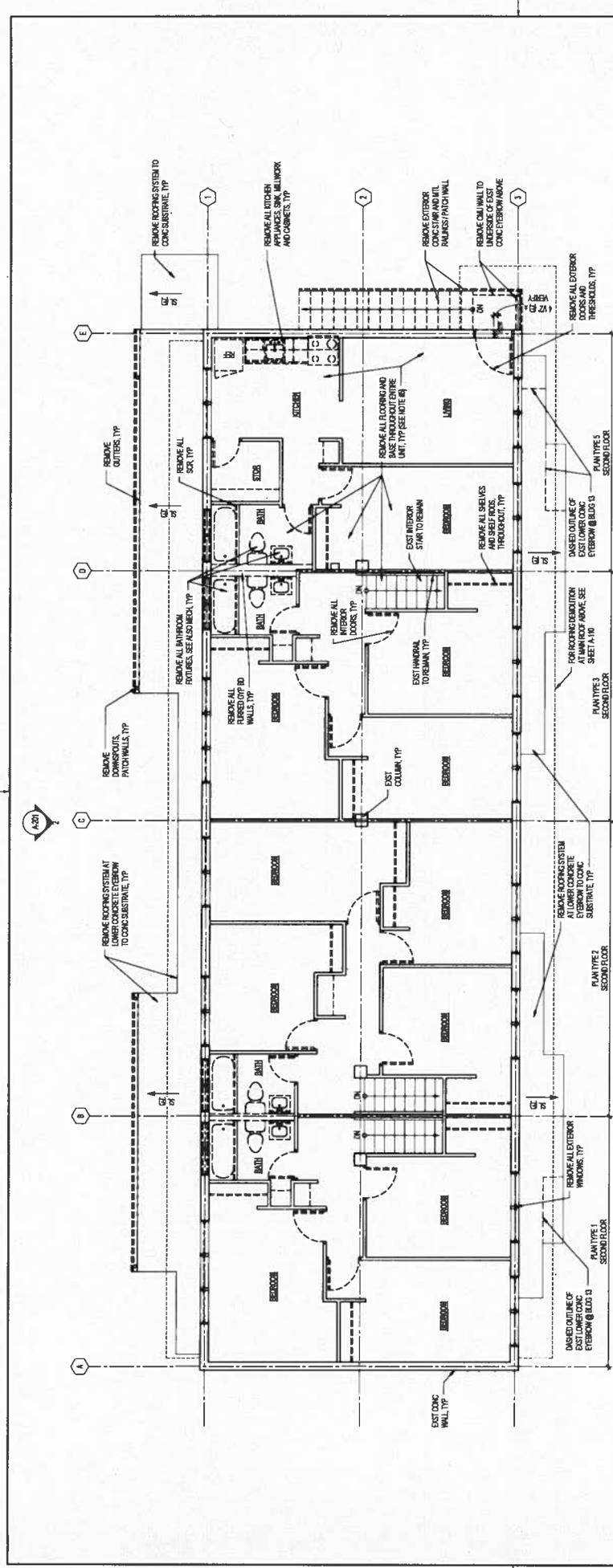
0 10 20

**(BUILDING 13 & PARKING LOT C)  
SITE, GRADING & UTILITY PLAN - 3**

SCALE 1" = 10'

DATE: 01/06/2018 13:08



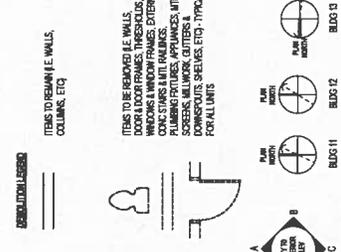


**A SECOND FLOOR DEMOLITION PLAN, BLDG TYPE A - BLDG 11 (BLDG'S 12 & 13 SIM)**  
 W-7-2

**NOTE TO CONTRACTOR:**  
 A HAZARDOUS MATERIAL SURVEY HAS DETERMINED THAT THERE IS A HAZARDOUS MATERIAL PRESENT IN THE PROJECT AREA - BUILDING 11, 12, AND 13.  
 A HAZARDOUS MATERIAL SURVEY REPORT IS MADE AVAILABLE BY THE HUMAN PUBLIC POLICING AUTHORITY (HPPA).  
 MATERIALS ARE SPECIFICALLY LISTED IN THE SURVEY REPORT. HAZARDOUS MATERIALS ARE SPECIFICALLY LISTED IN THE SURVEY REPORT.

- DEMOLITION PLAN NOTES:**  
 DEMOLITION NOT LIMITED TO THIS PLAN AND NOTES LISTED BELOW. SEE ALSO GENERAL NOTES, FLOOR AND CEILING PLANS, EXTERIOR WALLS, AND EXTERIOR WALLS FOR COMPLETE EXTENT OF DEMOLITION / REMOVAL WORK.
1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION WORK.
  2. ANY MECHANICAL, ELECTRICAL, OR ARCHITECTURAL DEVICES ENCOUNTERED UPON START OF DEMOLITION WORK SHALL BE IMMEDIATELY REPORTED TO THE HPPA PROJECT ENGINEER FOR REVIEW AND RECOMMENDATION.
  3. SHOULD THE CONTRACTOR ENCOUNTER OR SUSPECT ANY HAZARDOUS MATERIALS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE HPPA PROJECT ENGINEER FOR FURTHER ACTION.
  4. VERIFY WITH THE HPPA PROJECT ENGINEER ALL REMOVED ITEMS TO BE SALVAGED AND RETURNED FOR USE ELSEWHERE OR TO BE DESTROYED. ALL REMOVED ITEMS MUST BE IDENTIFIED BY TAGS AND INSTRUCTIONS. REMOVED ITEMS TO BE PAILED AWAY AS TRASH.

5. REMOVE ALL FLOORING TO EXPOSE CONCRETE SLAB INCLUDING THOSE NOT SHOWN. LAMINATE, TILE, BASE, FLOORING TRANSITIONS TO CONCRETE SUBSTRATE. PRESERVE FLOORING ON SMOOTH CONCRETE SUBSTRATE TO REUSE FLOOR FINISH.
6. REMOVE TRAP, TOILET, SINKS, SINKS, FANLIGHTS, ETC. PRESERVE ALL EXISTING WALLS AND PARTITIONS. CONTRACTOR SHALL PATCH/REPAIR WALLS AND PARTITIONS TO MATCH EXISTING SURFACE TO REMAIN. NEW WALL FINISH AS SPECIFIED.
7. THE EXISTING GROUND FLOOR CONCRETE SLAB IS SUSPENDED FROM THE EXISTING STRUCTURE. CONTRACTOR SHALL VERIFY THE CONTRACTOR SHALL TAKE CARE NOT TO DISTURB ANY EXISTING BEAMS OR WALLS. REMOVE TRASH IN UNIT AND SURROUNDING THE BUILDING TO BE THROWN AWAY.



NO.	DATE	DESCRIPTION
ADD-1	05/10	REVISION

DEPARTMENT OF HUMAN SERVICES  
 HUMAN PUBLIC POLICING AUTHORITY  
 HUMAN STATE OF TEXAS

PAULDO VALLEY HOMES MODERNIZATION PHASE 3

SECOND FLOOR DEMOLITION PLAN - BLDG TYPE A

REVISED BY: C.K. BT, G.A.  
 DRAWN BY: R.K. AR, NT  
 SCALE: AS INDICATED

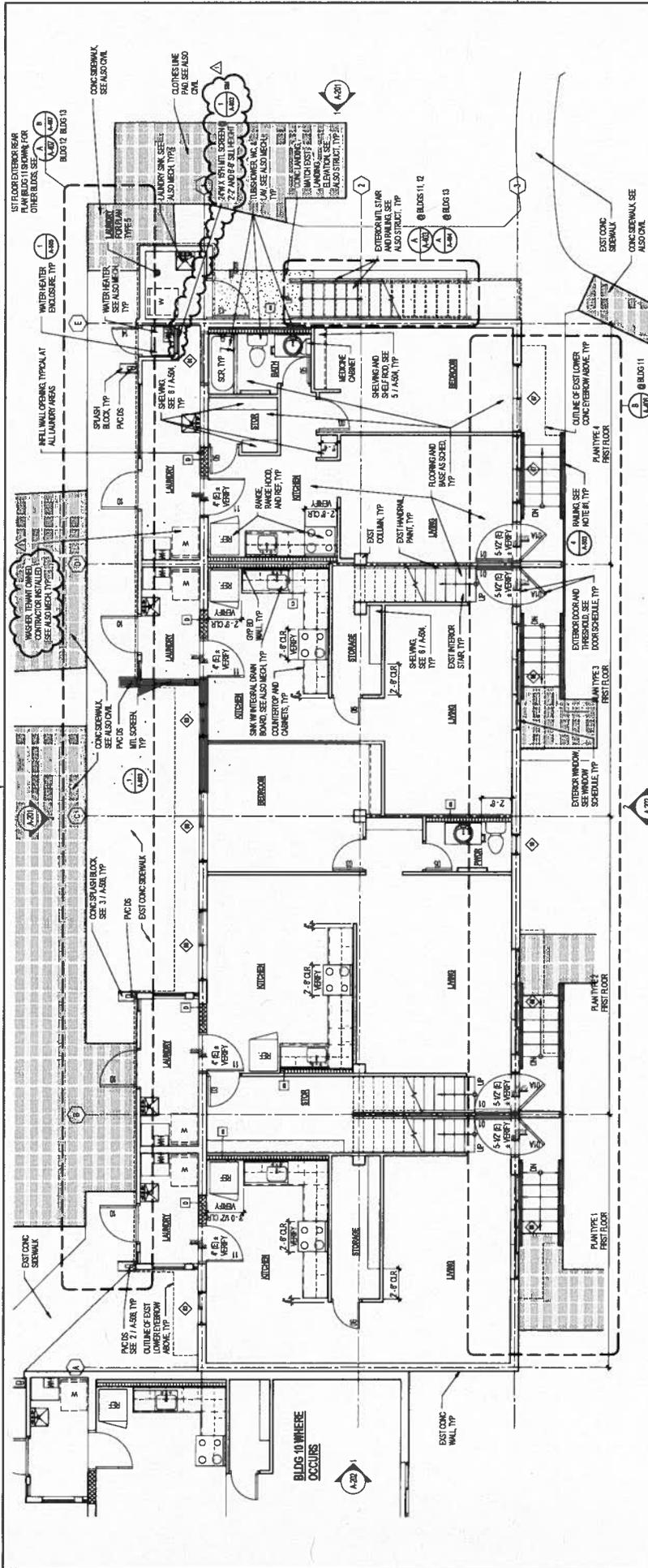
DATE: 05-08-16

PROJECT NO: 15-018-108-1  
 SHEET: A-102

SCALE: 1/4" = 1'-0"







**FIRST FLOOR PLAN, BLDG TYPE A - BLDG 11 (BLDG 12 & 13 SIM)**  
 1/4" = 1'-0"

**FLOOR PLAN NOTES:**

1. FINISHES TO BE INDICATED BY DIMENSIONAL CALLOUTS. ALL FINISHES TO BE INDICATED BY DIMENSIONAL CALLOUTS. ALL FINISHES TO BE INDICATED BY DIMENSIONAL CALLOUTS.
2. ALL INTERIOR WALLS TO BE PAINTED PTF-7, UNLESS NOTED OTHERWISE.
3. ALL INTERIOR FLOORS TO BE RESILIENT FLOOR VGT. 1, EXCEPT AT INTERIOR CONCRETE SLABS WHICH ARE TO BE RF WITH STAIR WINGS ONLY.
4. ALL INTERIOR STAIR HANDRAILS TO REMAIN SHALL BE PAINTED PTF-7, UNLESS NOTED OTHERWISE.
5. THE EXISTING GROUND LEVEL CONCRETE SLAB IS SUSPECTED TO BE CRACKED. ALL CRACKS TO BE REPAIRED BY CONTRACTOR SHALL TAKE CARE NOT TO DISTURB ANY EXISTING REBAR.
7. ALL DOORS TO BE ALL-TIMBER STALS FOR FUTURE CONSTRUCTION OF REAR WALL.

**WALL LEGEND:**

- 1. 5/8" W/1 STUDS @ 16" O.C. W/ 5/8" WR TYPE 2 GYP BOARD ON EXTERIOR FACE OF (H-PR FREE PATED WALL)
- 2. 5/8" W/1 STUDS @ 16" O.C. W/ 5/8" WR TYPE 2 GYP BOARD ON EXTERIOR FACE OF (H-PR FREE PATED WALL)
- 3. 5/8" W/1 STUDS @ 16" O.C. W/ 5/8" WR TYPE 2 GYP BOARD ON EXTERIOR FACE OF (H-PR FREE PATED WALL)
- 4. 5/8" W/1 STUDS @ 16" O.C. W/ 5/8" WR TYPE 2 GYP BOARD ON EXTERIOR FACE OF (H-PR FREE PATED WALL)

**WALL LEGEND:**

- 1. 5/8" W/1 STUDS @ 16" O.C. W/ 5/8" WR TYPE 2 GYP BOARD ON EXTERIOR FACE OF (H-PR FREE PATED WALL)
- 2. 5/8" W/1 STUDS @ 16" O.C. W/ 5/8" WR TYPE 2 GYP BOARD ON EXTERIOR FACE OF (H-PR FREE PATED WALL)
- 3. 5/8" W/1 STUDS @ 16" O.C. W/ 5/8" WR TYPE 2 GYP BOARD ON EXTERIOR FACE OF (H-PR FREE PATED WALL)
- 4. 5/8" W/1 STUDS @ 16" O.C. W/ 5/8" WR TYPE 2 GYP BOARD ON EXTERIOR FACE OF (H-PR FREE PATED WALL)

**WALL LEGEND:**

- 1. 5/8" W/1 STUDS @ 16" O.C. W/ 5/8" WR TYPE 2 GYP BOARD ON EXTERIOR FACE OF (H-PR FREE PATED WALL)
- 2. 5/8" W/1 STUDS @ 16" O.C. W/ 5/8" WR TYPE 2 GYP BOARD ON EXTERIOR FACE OF (H-PR FREE PATED WALL)
- 3. 5/8" W/1 STUDS @ 16" O.C. W/ 5/8" WR TYPE 2 GYP BOARD ON EXTERIOR FACE OF (H-PR FREE PATED WALL)
- 4. 5/8" W/1 STUDS @ 16" O.C. W/ 5/8" WR TYPE 2 GYP BOARD ON EXTERIOR FACE OF (H-PR FREE PATED WALL)

NO.	DATE	REVISION
ADD-1	04/15/2018	REVISED NOTE

DEPARTMENT OF HUMAN SERVICES  
 HAWAII PUBLIC WORKS AUTHORITY  
 STATE OF HAWAII

PROJECT: PALOALTO VALLEY HOMES MODERNIZATION PHASE J  
 FIRST FLOOR PLAN - BLDG TYPE A

DESIGNED BY: RWA ARCHITECTS, INC.  
 CHECKED BY: C.N. B.T. CA  
 DATE: 15-01-108-2  
 A-105

SCALE: 1/4" = 1'-0"

RECEIVED  
 HAWAII PUBLIC WORKS AUTHORITY  
 APR 15 2018

THIS SEAL IS VALID ONLY IF IT IS USED IN ACCORDANCE WITH THE HAWAII PUBLIC WORKS AUTHORITY SEAL ACT.

SCALE: 1/4" = 1'-0"

BLDG TO WHERE OCCURS

BLDG 11

BLDG 12

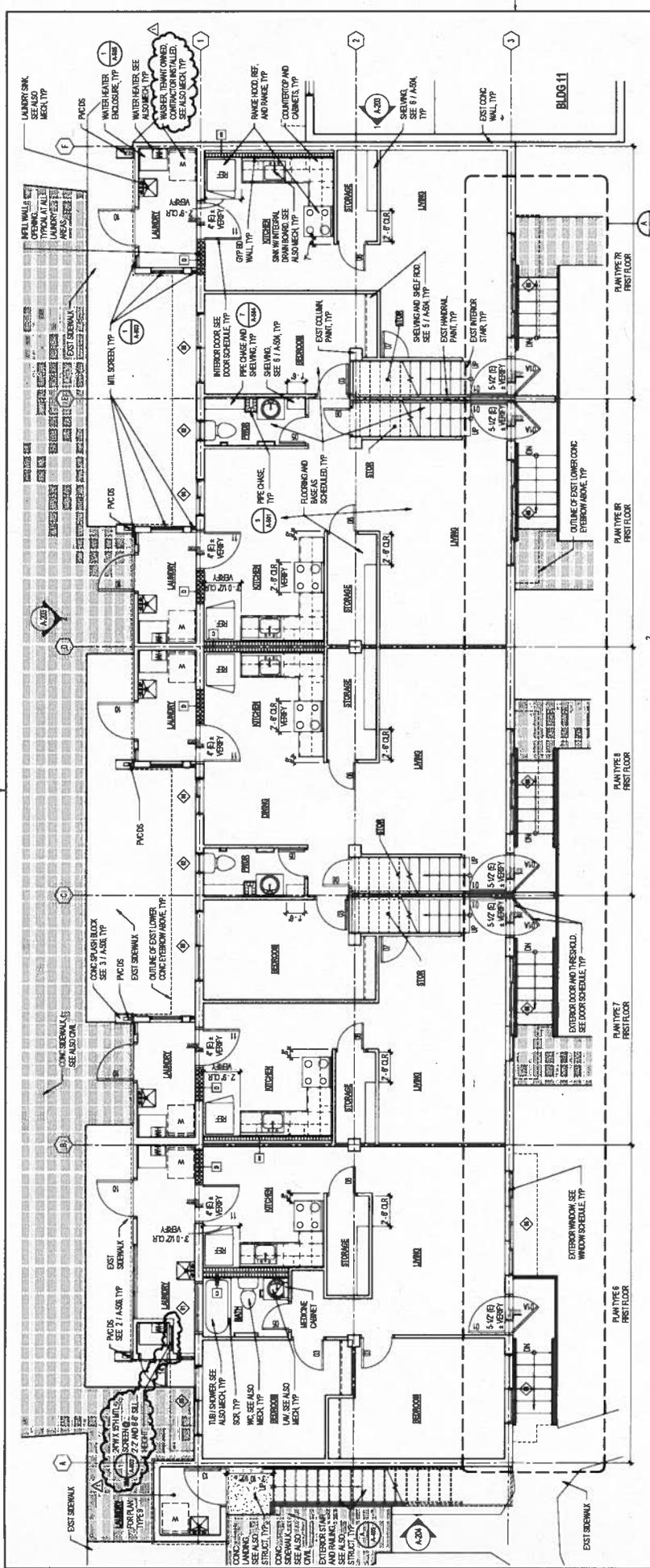
BLDG 13

BLDG TO WHERE OCCURS

BLDG 11

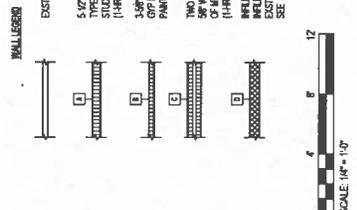
BLDG 12

BLDG 13



**FIRST FLOOR RENOVATION PLAN, BLDG TYPE B - BLDG 10**  
 1/2" = 1'-0"

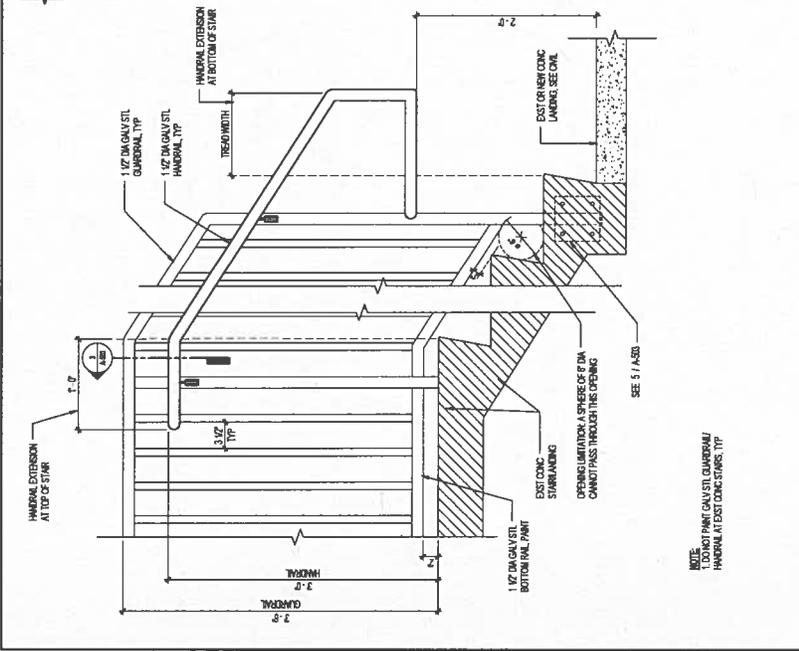
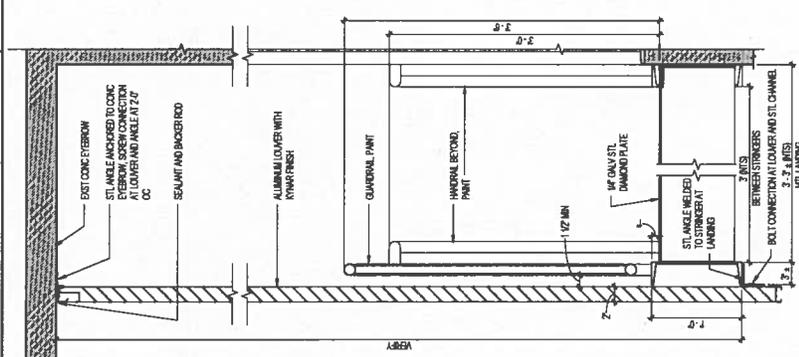
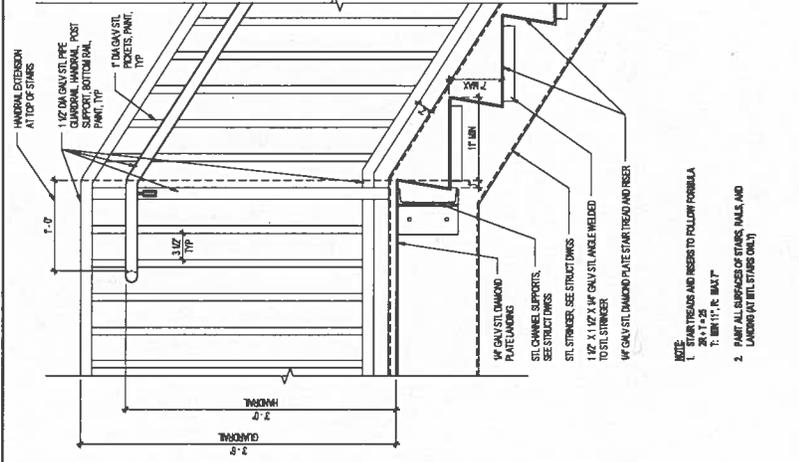
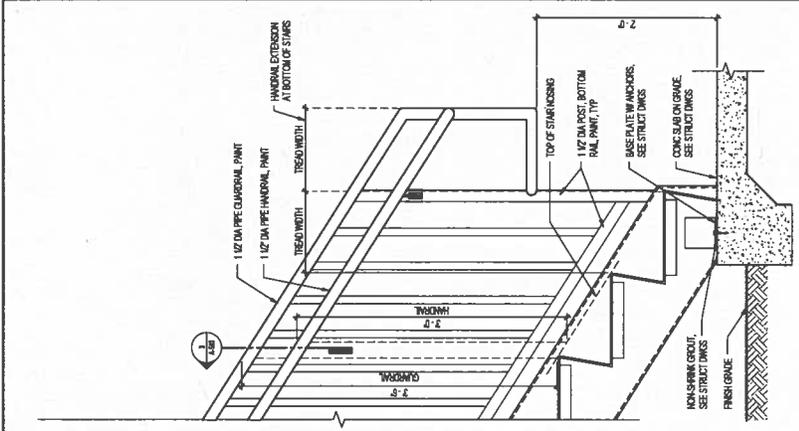
- FLOOR PLAN NOTES**
1. PATCH HOLES/CRACKS FROM STAIR AND RAMPING REMOVAL. FILL HOLES/CRACKS WITH POLYMER MODIFIED GROUT. MORTAR CRACK FILLER. SEE ALSO ON STRUCTURAL NOTES. PAINT EXPOSED SURFACES WITH INTERIOR WALL COLOR. PAINT EXPOSED SURFACES WITH INTERIOR WALL COLOR. (H-PR (PRE PARED WALL))
  2. CONTRACTOR TO FIELD MEASURE EXISTING FLOOR FINISHES FOR MTL SCREENS IN LAUNDRY ROOM AREAS AND PARAPETS. MTL SCREENS AND FRAMING ACCORDINGLY.
  3. ALL INTERIOR WALLS TO BE PAINTED PER 17.1, UNLESS NOTED OTHERWISE.
  4. ALL INTERIOR WALLS TO BE RESEMENT FLOOR V.C.T.1, EXCEPT AT INTERIOR CONCRETE STAIRS WHICH ARE TO BE R-1 WITH SHOWN NOTES.
  5. ALL INTERIOR WALLS TO REMAIN SHALL BE PAINTED PER 17.1, UNLESS NOTED OTHERWISE.
  6. THE EXISTING GROUND FLOOR CONCRETE SHALL BE REBARRED PRE-CAST FRAMES AND SETTING GRAD. THE CONTRACTOR SHALL TAKE CARE NOT TO DISTURB ANY EXISTING REBAR.
  7. ADD BRICKWORK AT ALL TRANSOM STALLS FOR FUTURE COMB BARS AT OPP. TO WALLS.



NO.	REVISION	DATE	BY	DESCRIPTION
ADD-1	REVISION NOTE		BP/NO	REVISION

DEPARTMENT OF HUMAN SERVICES  
 PALO ALTO VALLEY HOMES MODERNIZATION PHASE 3  
 SHEET NO. 15-016-10B-2  
 A-107  
 05-06-16  
 SCALE AS INDICATED

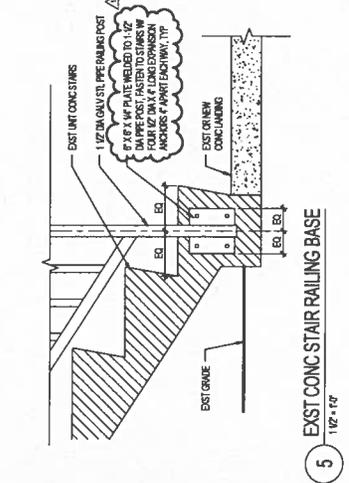
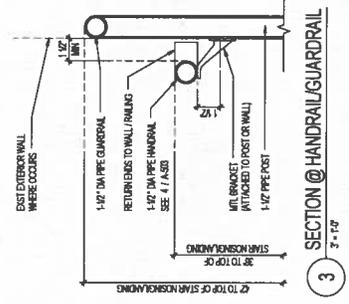




1 SECTION THRU METAL STAIR  
1 1/2" x 1 1/2"

2 LOWER @ LANDING  
1 1/2" x 1 1/2"

3 SECTION @ STAIR GUARDRAIL/HANDRAIL @ EXIST FRONT LANDING  
1 1/2" x 1 1/2"



NO.	DATE	DESCRIPTION	BY	CHECKED BY
ADD 1	7/10/2018	REVISED NOTE	WPD	DSF/2018

DEPARTMENT OF HUMAN SERVICES  
CALIFORNIA STATE OF CALIFORNIA  
PALO ALTO VALLEY HOMES MODERNIZATION PHASE 3

STAIR DETAILS

STA ARCHITECTS, INC.  
1500 CALIFORNIA STREET, SUITE 200  
PALO ALTO, CA 94301  
TEL: 650-961-1170

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AS A REGISTERED PROFESSIONAL ARCHITECT IN THE STATE OF CALIFORNIA.

DATE: 05-06-16  
PROJECT: A-503  
SHEET: 28  
SCALE: AS INDICATED



91-90-50-50  
126  
018