

DAVID Y. IGE  
GOVERNOR



HAKIM OUANSAFI  
EXECUTIVE DIRECTOR

**STATE OF HAWAII**  
DEPARTMENT OF HUMAN SERVICES  
HAWAII PUBLIC HOUSING AUTHORITY  
1002 NORTH SCHOOL STREET  
P.O. BOX 17907  
Honolulu, Hawaii 96817

BARBARA E. ARASHIRO  
EXECUTIVE ASSISTANT

**ADDENDUM NO. 2**

TO THE  
PLANS AND SPECIFICATIONS  
FOR  
FURNISHING LABOR AND MATERIALS  
REQUIRED FOR

**PALOLO VALLEY HOMES MODERNIZATION, PHASE 3**  
HONOLULU, OAHU, HAWAII  
Tax Map Key No.: (1) 3-004-015

HPHA Job No. 15-016-108-Z  
IFB-CMB-2016-17

May 27, 2016

The items listed hereinafter are hereby made a part of the contract for the above project and shall govern the work, taking precedence over previously issued plans and specifications governing the items mentioned.

**I. CHANGES TO SPECIFICATIONS**

- A. Section 02722 – SEWER SYSTEMS
  - 1. Add the following sentence to Para. 1.05 C  
The pipe openings, including opening size, shall be shown on the shop drawings.
  
- B. Section 05500 – METAL FABRICATIONS
  - 1. Para. 2.01 L: Revise text as follows:
    - a. Delete “Fence Depot Wrought Iron Fence RPPF-4.5 foot” and replace with “Fence Depot Wrought Iron Fence RPPF20 -4.5 foot”

- C. Section 07550 MODIFIED BITUMEN ROOFING
1. Para. 3.02. A: Insert the following at the beginning of paragraph:
    - a. "Remove existing roofing membrane system down to existing concrete substrate."
- D. Section 08210 – WOOD DOORS
1. Para. 2.02 B: Replace first sentence with the following:
    - a. "Adhesives: Adhesives shall be in accordance with WDMA I.S.-1A requirements for Type I Bond Doors (waterproof) for exterior doors and Type II Bond Doors (water repellent) for interior doors."
- E. Section 08521 – VINYL WINDOWS
1. Para. 1.04 D: Replace paragraph with the following:
    - a. "Emergency Egress or Rescue: Comply with requirements for emergency escape or rescue from sleeping rooms and living rooms of the current ICC IBC, as amended."
- F. Section 08710 – FINISH HARDWARE
1. Para. 3.05 HARDWARE GROUPS
    - a. SET NO. 1 thru SET NO. 6, revise DOOR STOP Model No. with the following:  
Delete "TRM 1208 613" and replace with "TRM 1208 626"
    - b. SET NO. 4, revise the following:  
Delete "BATHROOM DOORS" and replace with "BATHROOM DOORS/POWDER ROOM"
    - b. SET NO. 5, revise the following:  
Delete "LOCKSET" and replace with "PASSAGE SET"
    - c. SET NO. 6, revise the following:  
Delete "EXTERIOR STORAGE DOORS" and replace with "LAUNDRY ROOM/WATER HEATER DOORS"
- G. Section 08800 – GLAZING
1. Para. 2.01 A.2: Revise first sentence as follows:
    - a. Delete "At Powder Room windows" and replace with "At Bathroom/Powder Room windows".
- H. Section 09650 – RESILIENT FLOORING
1. Para. 2.01 F: Revise text as follows:
    - a. Delete "Burke Flooring No. 510" and replace with "Burke Flooring No. 575"

- I. Section 09900 – PAINTING
  - 1. Para. 2.02 D, items 6 and 7: add the following to sentence:
    - a. “(excludes surface where Weatherization Coating is specified/indicated)”
  
- J. Section 09980 – WEATHERIZATION COATING
  - 1. Para. 1.02: Add to end of paragraph:
    - “, unless indicated otherwise.”
  
- K. Section 15400 – PLUMBING
  - 1. Para. 2.05 D: Revise text:
    - Delete “Prefabricated roof cap/curbing (non-lead). Provide Josam series 26700 vandalproof vent cap.” and replace with “Provide lead flashing, refer to drawings.”
  
- L. Section 16050 – BASIC ELECTRICAL MATERIALS AND METHODS
  - 1. Para. 1.01 A: Revise text:
    - Delete “as shown on the drawings or specified herein” and replace with “as shown on the drawings and specified herein”
  
  - 2. Para. 1.02 D: Revise text:
    - Delete “air conditioning” and “elevator” from text.
  
  - 3. Para. 1.05 C.1: Replace paragraph with the following:
    - “Contractor shall provide drawings of complete electrical system on 24” x 36” bond showing as-installed locations of equipment and wiring on plans, including circuiting, details, etc., or bond reproductions of contractor drawings with all changes neatly drafted thereon. In addition, Contractor shall update Autocad Release 2010 of as-built construction drawings on CD recordable disks along with the as-built drawings. Incomplete or unsatisfactory as-built drawings or CAD files shall be grounds for rejection by the Architect. Contractor shall revise and resubmit as-built drawings and CAD files at no additional cost until accepted by Architect.”
  
  - 4. Para. 1.06 C: Revise text:
    - Delete “Study architectural, mechanical, civil and landscape drawings” and replace with “Study architectural, mechanical, and civil drawings”.
  
  - 5. Para. 2.02 C: Revise text:
    - a. Item 2: delete “brown at woodwork, yellow for emergency power, other colors”
    - b. Item 4: delete “brown at woodwork, yellow for emergency circuits, other”
  
- M. Section 16402 – UNDERGROUND ELECTRICAL

1. Para. 1.01 A: Revised text:  
Delete "as shown on the drawings or specified herein" and replace with "as shown on the drawings and specified herein"
  2. Para. 1.03: Add the following:  
"C. Cable TV: By local serving utility – New.
  3. Para. 1.04 D.2: Revise text:  
Delete "Telephone System" and replace with "Telephone/Cable TV System"
- N. Section 16500 – LIGHTING
1. Para. 1.01 A: Revise text:  
Delete "as shown on the drawings or specified herein" and replace with "as shown on the drawings and specified herein"
  2. Para. 2.02 A.6: Delete item d.

## **II. CHANGES TO PLANS**

A. The following drawing sheets have been revised and marked Rev. 2 dated 5/27/16 (see attached). The revised sheet shall supersede the original liked plan sheet (general descriptions are noted hereinafter):

1. Drawing No. C-001
  - a. Revised Index of Drawings to include Drawings E1.1 and E5.1
  - b. Added TMK lot for Building 20.
  - c. Added CP No.
2. Drawing No. C-104
  - a. Added callout that the Temporary Construction Ingress/Egress is to be in the first phase.
  - b. Revised BMP notes.
  - c. Added phasing line to legend.
  - d. Revised Limits of Grading & Disturbed Area.
3. Drawing No. C-301
  - a. Revised limits of grading & disturbed areas to include walkways.
  - b. Revised graded and disturbed area in estimated earthwork quantities table.
  - c. Revised legend.
  - d. Revised Note 12.
4. Drawing No. C-302

- a. Revised limits of grading and disturbed area to include walkways.
  - b. Revised Note 14.
  - c. Revised legend.
5. Drawing No. C-303
- a. Revised limits of grading and disturbed area to include walkways and Parking Lot C.
  - b. Added grading section callouts.
  - c. Added spot grades for Parking Lot C to define accessible path.
  - d. Added limited of A.C. repavement for 2 ½" waterline crossing at Ahe St.
6. Drawing No. C-401
- a. Added callout for accessible path to thru gutter detail.
  - b. Revised Notes.
7. Drawing No. C-501
- a. Added callout for 2' A.C. transition.
  - b. Revised details.
8. Drawing No. C-503
- a. Added Note 5 to typical clothesline pad detail.
  - b. Added Limits of Grading to grading sections.
9. Drawing No. A-101
- a. Revised Note.
10. Drawing No. A-102
- a. Revised Note.
11. Drawing No. A-103
- a. Revised Note.
12. Drawing No. A-104
- a. Revised Note.
13. Drawing No. A-105
- a. Revise door no.
14. Drawing No. A-106
- a. Revise door no.
15. Drawing No. A-602
- a. Revised door schedule.

16. Drawing No. E1.1
  - a. Reroute electrical line.
17. Drawing No. E5.1
  - a. Added CEB approval block.

### III. MISCELLANEOUS

A. The following miscellaneous items shall be incorporated into bid proposal.

1. Note, all living units have varying types of flooring finishes, including but not limited to resilient tile flooring (ACM / Non-ACM, 1 & 2 layers of tile or tile over epoxy coating), epoxy coating, paint floor finish, etc. Contractor shall remove all floor finishes down to existing bare concrete substrate at all buildings (1<sup>st</sup> and 2<sup>nd</sup> Floors & stairs). Exact quantities and locations of various materials are not known as this time. Contractor shall assume all flooring consists of asbestos containing floor tile throughout the entire building.
2. The Contractor shall remove all wood shoe shelves at all bedroom closets.
3. The Contractor shall provide 2 each 5 lb. 2A-10BC fire extinguishers, wall mounted on metal brackets at living units. Coordinate locations with HPHA Project Engineer.

### IV. CLARIFICATIONS

A. The following are responses to requests for clarifications submitted.

1. *Q: The revised plans that were issued in Addendum No. 1 were reduced to fit 8 ½ x 11. Can you please issue PDFs of the full size plans that scale correctly?*

A: The revised plans were re-issued by HPHA in an 11 x 17 (half size) format.

2. *Q: Reference detail 2/S-301, what is the thickness of the concrete veneer finish on the retaining wall?*

A: Concrete veneer thickness shall be 3" minimum. Thickness will vary due to the existing tilt of the wall.

3. *Q: Reference Details 8, 10, and 11 on A-603, what is the spacing of the anchors?*

A: Anchors should be spaced at 12" on center.

All other items and conditions shall remain in full force and effect.

Approved by:



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Rick T. Sogawa  
Procurement Officer



HAWAII PUBLIC HOUSING AUTHORITY  
STATE OF HAWAII

PALOLO VALLEY HOMES  
MODERNIZATION PHASE 3

HONOLULU, OAHU, HAWAII  
TAX MAP KEY: (1) 3 - 4 - 007 : 015 & 017  
CONSTRUCTION PLAN FILE NO. : 2016/CP - 108

PREPARED BY :  
Engineering Concepts, Inc.  
CONSULTING ENGINEERS  
HONOLULU, HAWAII

INDEX OF DRAWINGS

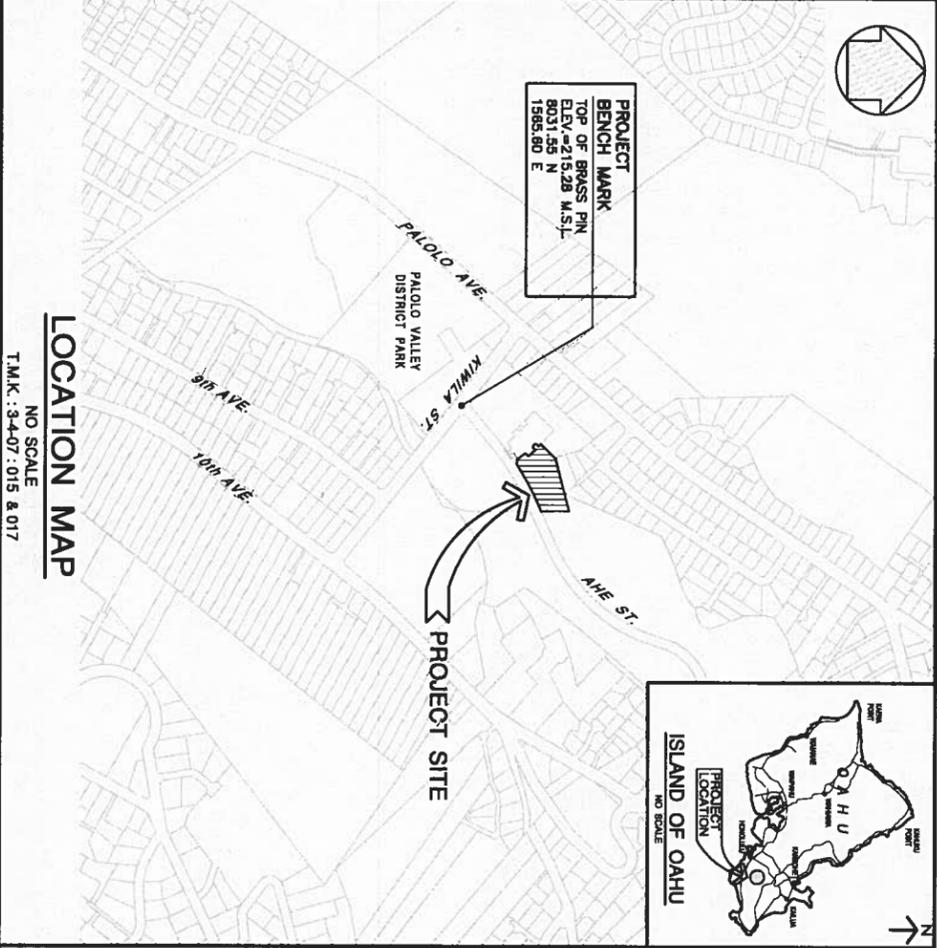
SHT.	DWG.	DESCRIPTION
1	C-001	CIVIL TITLE SHEET, INDEX OF DRAWINGS & LOCATION MAP
4-5	C-101 TO C-102	CONSTRUCTION NOTES
6	C-103	GENERAL PLAN
7	C-104	EROSION CONTROL PLAN & DETAILS
8	C-201	DEMOLITION PLAN
9	C-301	SITE, GRADING & UTILITY PLAN-1 (BLDG. 10 & 11)
10	C-302	SITE, GRADING & UTILITY PLAN-2 (BLDG. 12)
11	C-303	SITE, GRADING & UTILITY PLAN-3 (BLDG. 13 & PARKING LOT C)
12	C-401	PAVEMENT PLAN
13	C-402	CLOTHESLINE PAD JOINTING PLAN
14-15	C-501 TO C-503	MISCELLANEOUS DETAILS
16-17	C-504 TO C-505	MISCELLANEOUS SEWER DETAILS
18	C-601	TRAFFIC CONTROL PLAN (PHASE 1 & 2)
19	C-602	TRAFFIC CONTROL PLAN (PHASE 3)
20	C-603	TRAFFIC NOTES
21	C-701	DRAINAGE IMPROVEMENTS FOR BUILDING 20
78	E1.1	PARTIAL SITE ELECTRICAL PLAN
97	E5.1	DUCT SECTION DETAILS AND ELECTRICAL DETAILS

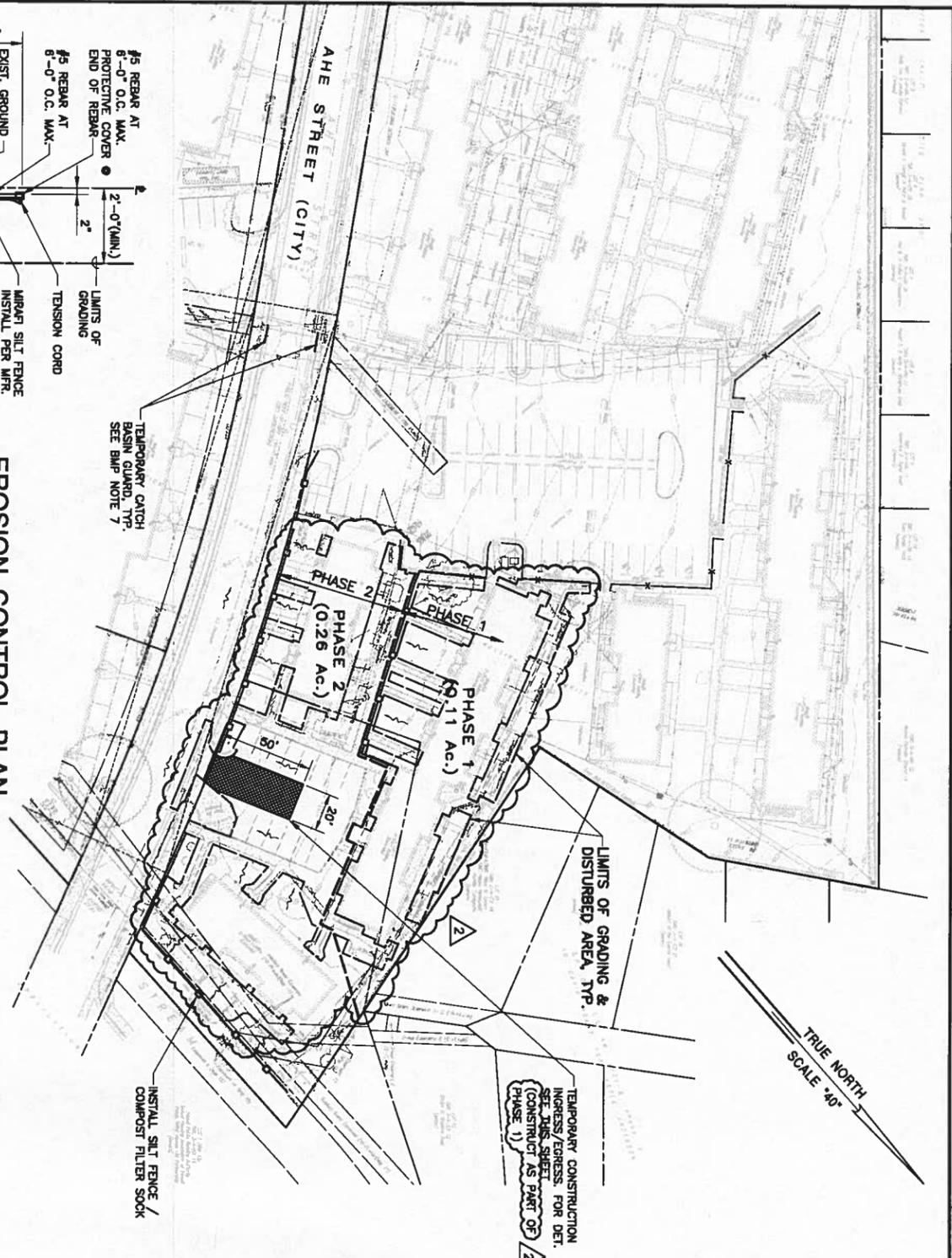
APPROVED:

DIRECTOR, DEPARTMENT OF PLANNING & PERMITTING, CITY & COUNTY OF HONOLULU  
(FOR SITE GRADING & WORK WITHIN CITY R/W & EASEMENT) DATE

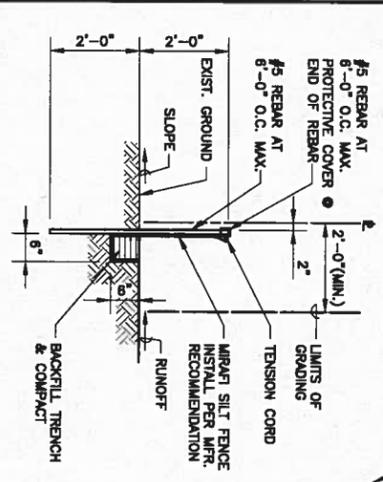
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REGION	SHEET	DESCRIPTION	DATE	DATE	APPROVED
					PUBLIC WORKS ADMINISTRATION
DEPARTMENT OF HUMAN SERVICES HAWAII PUBLIC HOUSING AUTHORITY PALOLO VALLEY HOMES MODERNIZATION PHASE 3 CIVIL TITLE SHEET, INDEX OF DRAWINGS & LOCATION MAP					
DESIGNED BY:	CHECKED BY:	DATE:	IPHA JOB NO.:	DRAWING NO.:	
DT	CA	15-016-108-Z		C-001	
DRAWN BY:	APPROVED BY:	DATE:		SHEET	
HH	CA	05-06-16		1	
SCALE AS INDICATED					

LOCATION MAP  
NO SCALE  
T.M.K. : 3-4-07 : 015 & 017

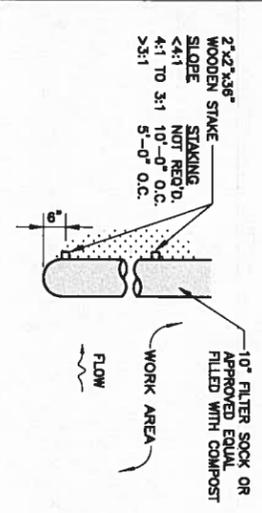




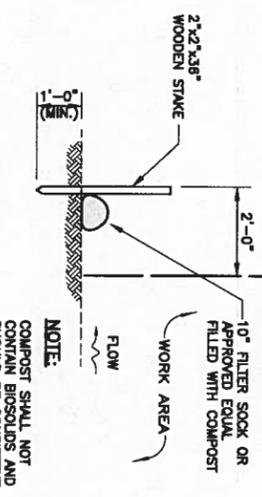
**EROSION CONTROL PLAN**  
 SCALE 1/40"



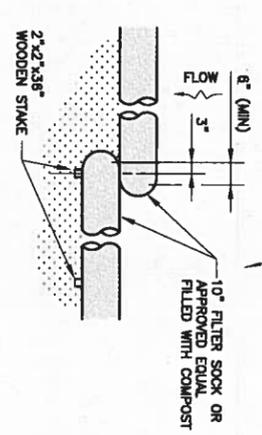
**TYPICAL SILT FENCE DETAIL**  
 NO SCALE



**PLAN**



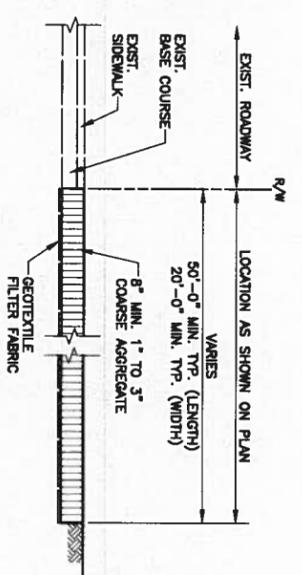
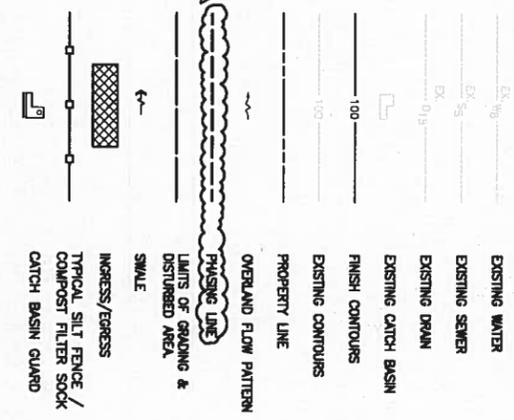
**SECTION**



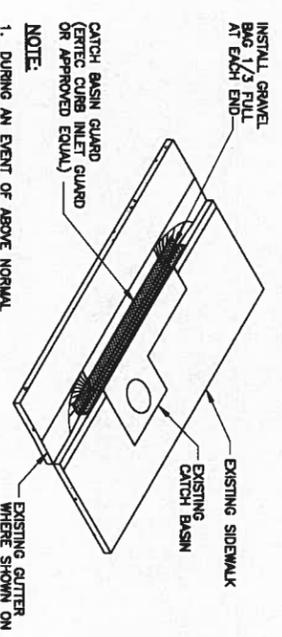
**OVERLAP DETAIL**

**COMPOST FILTER SOCK DETAIL**  
 NO SCALE

**LEGEND:**



**CONSTRUCTION INGRESS / EGRESS DETAIL**  
 NO SCALE



**CATCH BASIN GUARD (CB GUARD) DETAIL**  
 NO SCALE



**GRAPHIC SCALE**  
 SCALE 1/40"

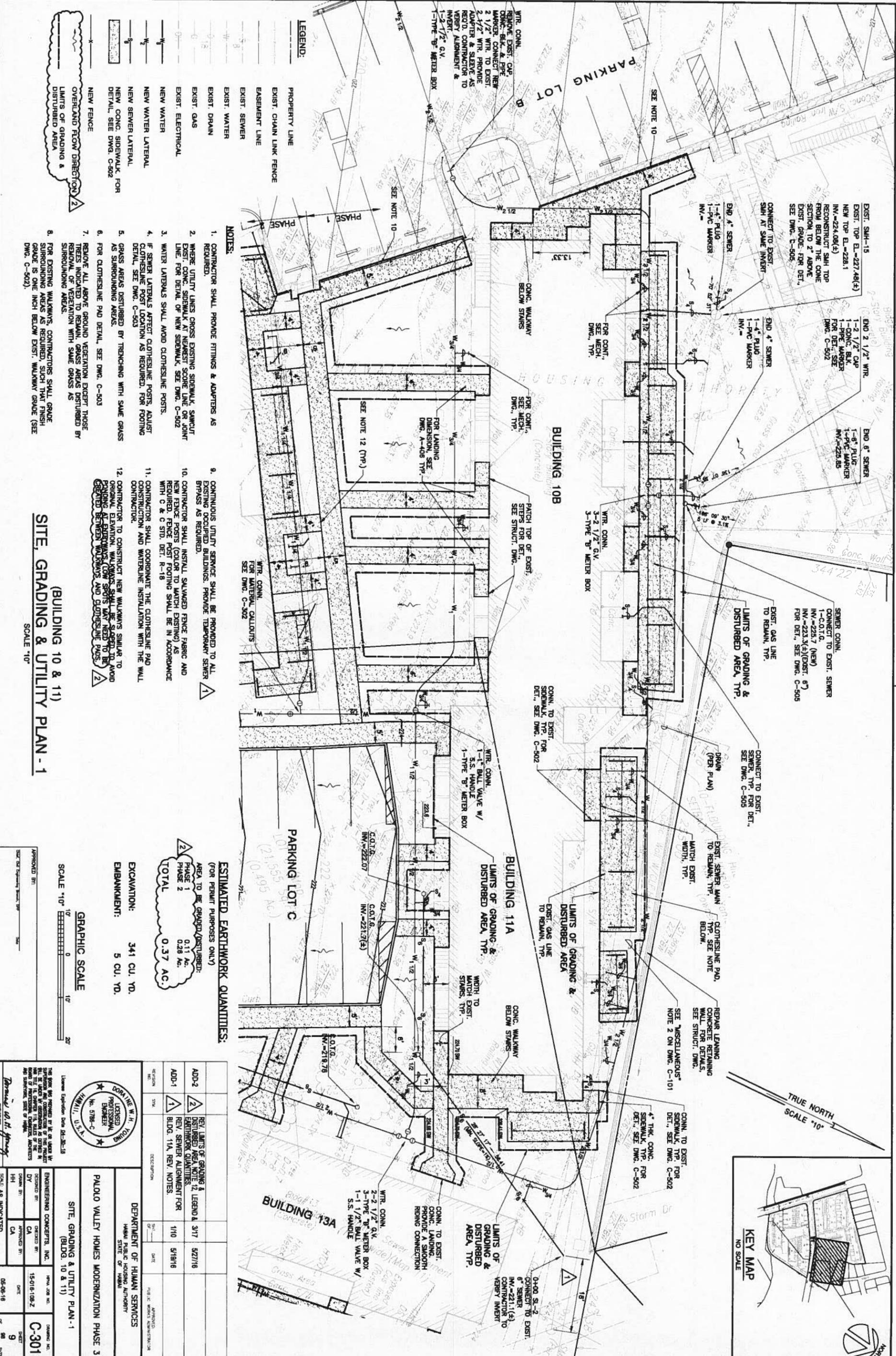
**BEST MANAGEMENT PRACTICES NOTES:**

1. THE CONTRACTOR SHALL CONSTRUCT/INSTALL SILT FENCES/COMPOST FILTER SOCK, CATCH-BASIN GUARDS, CONSTRUCTION INGRESS/EGRESS AND OTHER IDEAS SHOWN ON THE EROSION CONTROL PLAN AS SOON AS PRACTICABLE AND TO THE EXTENT PRACTICAL PRIOR TO PHASE 1 CONSTRUCTION. PRIOR TO PHASE 2 CONSTRUCTION, THE CONTRACTOR SHALL INSTALL SILT FENCE/COMPOST FILTER SOCK SHOWN FOR BLDGS. 12 & 13 AS SHOWN ON THIS PLAN FOR DETAILS. SEE THIS SHEET.
2. THE CONSTRUCTION INGRESS/EGRESS SHALL HAVE AN 8" THICK 1' TO 3' COURSE AGGREGATE OR LARGER (7" MAX.) LAYER LOCATED AT AND TO DIMENSIONS AS SHOWN ON THE BMP PLAN. SHOULD THE CONTRACTOR REQUIRE AN INGRESS/EGRESS OTHER THAN WHAT IS SHOWN ON THE BMP PLAN, THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY APPROVALS, INCLUDING THAT FOR RELOCATION OF THE CRUSHED ROCK AREA AS REQUIRED. SLOPES AND EXPOSED AREAS SHALL BE SOODED OR PLANTED AS SOON AS FINAL GRADES HAVE BEEN ESTABLISHED. PLANTING SHALL NOT BE DELAYED UNTIL ALL GRADING HAS BEEN COMPLETED. GRADING TO FINAL GRADE SHALL BE CONTINUOUS AND ANY AREA WITHIN WHICH WORK HAS BEEN INTERRUPTED OR DELAYED SHALL BE PLANTED, UNLESS OTHERWISE INDICATED IN THE SPECIAL PROVISIONS OR PROPOSAL. PAYMENT FOR PLANTING OR GRASSING, INCLUDING MAINTENANCE REQUIRED UNDER THIS ITEM SHALL BE CONSIDERED INCIDENTAL TO AND INCLUDED IN THE PRICE BID FOR GRADING.
3. ALL BEST MANAGEMENT PRACTICES (BMP'S) FOR EACH PHASE SHALL NOT BE REMOVED UNTIL ALL PERMANENT EROSION CONTROLS ARE IN PLACE AND ESTABLISHED.
4. AT THE END OF GRADING OPERATIONS, EXISTING CATCH-BASINS AND DRAIN MANHOLE SURROUNDING THE PROPOSED SITE SHALL BE INSPECTED AND ANY ACCUMULATED SEDIMENT AND PROTRUDING ROOTS SHALL BE REMOVED. FLUSHING INTO THE CATCH-BASINS AND DRAIN MANHOLES IS PROHIBITED.
5. THE CONTRACTOR SHALL INSPECT AND CLEAN THE TEMPORARY SILT FENCES / COMPOST FILTER SOCK AFTER EACH STORM EVENT.
6. FOR CATCH-BASIN GUARD, INSTALL CURB INLET GUARD BY ERECT ENROUNDMENTAL SYSTEMS OR APPROVED EQUAL FOR THE DURATION OF CONSTRUCTION, INCLUDING MAINTENANCE AS REQUIRED. PER MANUFACTURER'S RECOMMENDATION PRIOR TO CLEANING & GRUBBING OPERATIONS. REMOVE ALL TEMPORARY CB-GUARDS AFTER CONSTRUCTION IS COMPLETED.
7. CATCH-BASIN GUARDS SHALL BE REMOVED IN THE EVENT OF AN ABOVE NORMAL RAINFALL AND SHALL BE REINSTALLED AFTER THE EVENT.
8. MAINTAIN ALL MEASURES IN GOOD WORKING ORDER. IF REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS AFTER THE INSPECTION.
9. GOOD HOUSEKEEPING SHALL BE UTILIZED TO ENSURE PROTECTION OF THE ROADWAYS FROM MUD, DIRT AND DEBRIS.
10. **NO MATERIAL SHALL BE STOCKPILED WITHIN THE 50' ROAD RIGHT-OF-WAY.**

REVISION NO.	SYMBOL	DESCRIPTION	DATE	APPROVED:
ADD-2	2	REV. BMP NOTES, LEGEND & EROSION CONTROL PLAN.	2/17 5/27/16	

DEPARTMENT OF HUMAN SERVICES  
 HAWAII PUBLIC HOUSING AUTHORITY  
 PALOLO VALLEY HOMES MODERNIZATION PHASE 3  
 EROSION CONTROL PLAN & DETAILS

DESIGNED BY:	CA	DATE:	15-01-8-108-Z
CHECKED BY:	HH	DATE:	05-08-16
SCALE:	AS INDICATED	SHEET:	7
DRAWING NO.:		C-104	
DATE:		05-08-16	



**LEGEND:**

- PROPERTY LINE
- EXIST. CHAIN LINK FENCE
- EASEMENT LINE
- EXIST. SEWER
- EXIST. WATER
- EXIST. DRAIN
- EXIST. GAS
- EXIST. ELECTRICAL
- NEW WATER
- NEW WATER LATERAL
- NEW SEWER LATERAL
- NEW CONC. SIDEWALK FOR DETAIL, SEE DWG. C-502
- NEW FENCE
- OVERLAND FLOW DIRECTION
- LIMITS OF GRADING & DISTURBED AREA

- NOTES:**
1. CONTRACTOR SHALL PROVIDE FITTINGS & ADAPTERS AS REQUIRED.
  2. WHERE UTILITY LINES CROSS EXISTING SIDEWALK, SAWCUT EXIST. CONC. SIDEWALK AT NEAREST SCORE LINE OR JOINT LINE. FOR DETAIL OF NEW SIDEWALK, SEE DWG. C-502
  3. WATER LATERALS SHALL AVOID CLOTHESLINE POSTS.
  4. IF SEWER LATERALS AFFECT CLOTHESLINE POSTS, ADJUST CLOTHESLINE POST LOCATION AS REQUIRED. FOR FOOTING DETAIL, SEE DWG. C-503
  5. GRASS AREAS DISTURBED BY TRENCHING WITH SAME GRASS AS SURROUNDING AREAS.
  6. FOR CLOTHESLINE PAD DETAIL, SEE DWG. C-503
  7. REMOVE ALL ABOVE GROUND VEGETATION EXCEPT THOSE TREES INDICATED TO REMAIN. GRASS AREAS DISTURBED BY REMOVAL OF VEGETATION WITH SAME GRASS AS SURROUNDING AREAS.
  8. FOR EXISTING WALKWAYS, CONTRACTORS SHALL GRADE SURROUNDING AREAS AS REQUIRED, SUCH THAT FINISH GRADE IS ONE INCH BELOW EXIST. WALKWAY GRADE (SEE DWG. C-502).
  9. CONTINUOUS UTILITY SERVICE SHALL BE PROVIDED TO ALL EXISTING OCCUPIED BUILDINGS. PROVIDE TEMPORARY SEWER BYPASS AS REQUIRED.
  10. CONTRACTOR SHALL INSTALL SALVAGED FENCE FABRIC AND NEW FENCE POSTS (COLOR TO MATCH EXISTING) AS REQUIRED. FENCE POST FOOTING SHALL BE IN ACCORDANCE WITH C & C STD. DET. R-18
  11. CONTRACTOR SHALL COORDINATE THE CLOTHESLINE PAD CONSTRUCTION AND WATERLINE INSTALLATION WITH THE WALL CONTRACTOR.
  12. CONTRACTOR TO CONSTRUCT NEW WALKWAYS SIMILAR TO ORIGINAL ELEVATION. WALKWAYS SHALL BE SLOPED TO AVOID POOLING OF SURFACE WATER. LOW SPOTS MAY NEED TO BE REPAIRED BETWEEN WALKWAYS AND CLOTHESLINE POSTS.

**SITE, GRADING & UTILITY PLAN - 1**  
 (BUILDING 10 & 11)  
 SCALE 1/8" = 10'

**ESTIMATED EARTHWORK QUANTITIES:**  
 (FOR PERMIT PURPOSES ONLY)

AREA TO BE GRADED/DISTURBED:	
PHASE 1	0.11 AC.
PHASE 2	0.28 AC.
<b>TOTAL</b>	<b>0.37 AC.</b>

EXCAVATION: 341 CU. YD.  
 EMBANKMENT: 5 CU. YD.



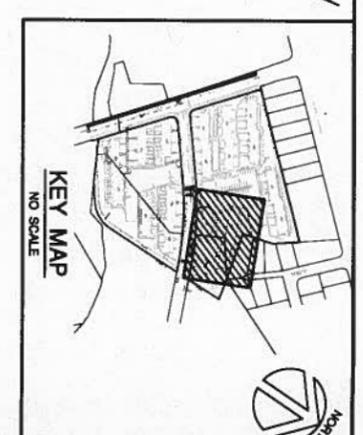
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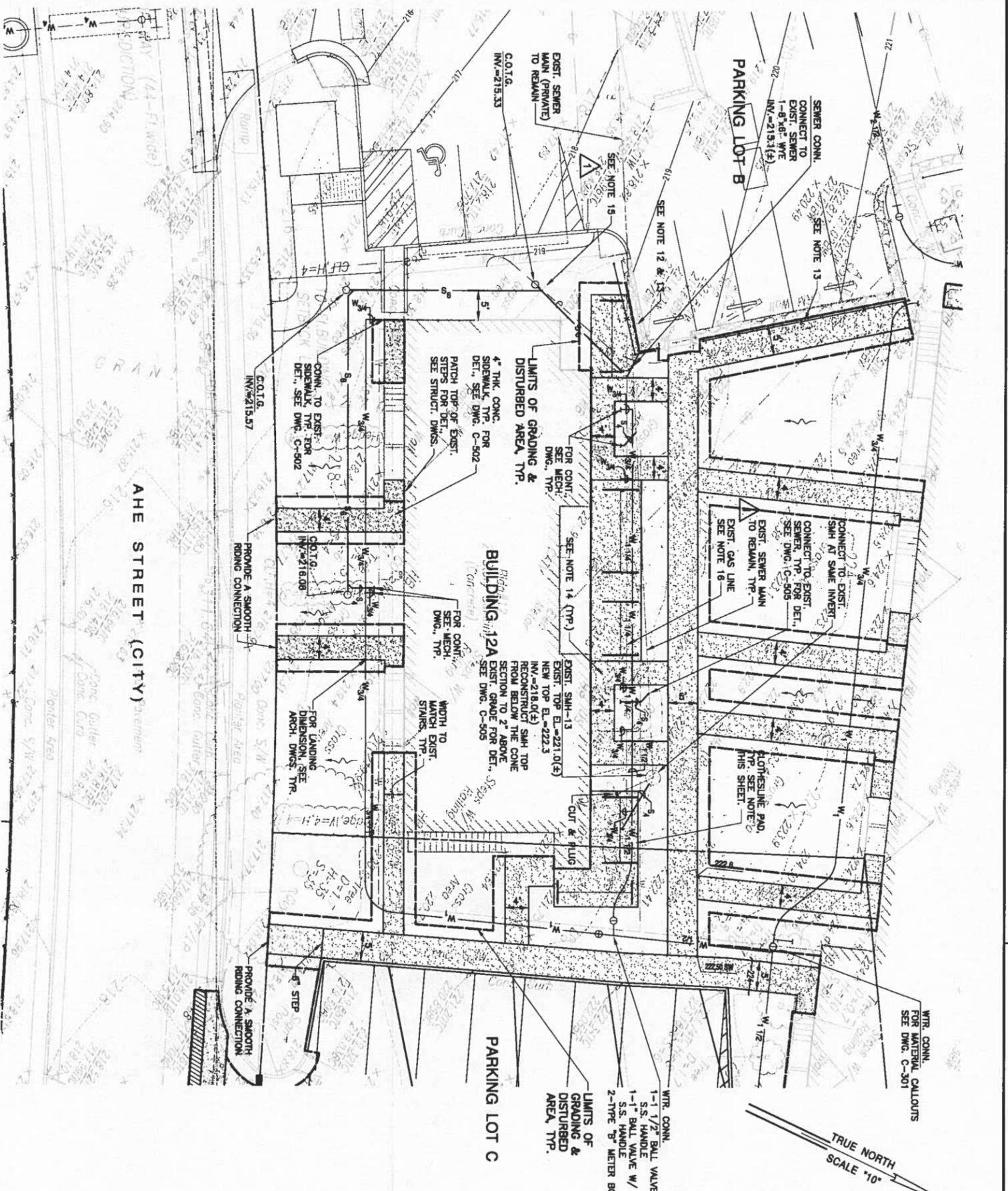
NO.	REVISION	DATE	APPROVED
ADD-2	REV. LIMITS OF GRADING & DISTURBED AREA NOTE 12, LEGEND A, 3/17	5/27/16	[Signature]
ADD-1	REV. SEWER ALIGNMENT FOR BLDG. 11A, REV. NOTES.	5/18/16	[Signature]
ADD-1	BLDG. 11A, REV. NOTES.		

DEPARTMENT OF HUMAN SERVICES  
 HAWAII PUBLIC HOUSING AUTHORITY  
 STATE OF HAWAII

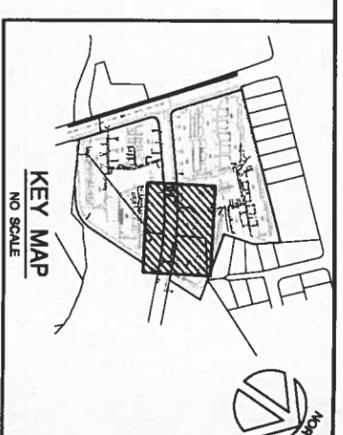
**SITE, GRADING & UTILITY PLAN - 1**  
 (BLDG. 10 & 11)

ENGINEERING CONCEPTS, INC.  
 1501-B-108-Z  
 DATE: 05-08-16  
 SHEET: 9  
 OF: 98 SHEETS





**(BUILDING 12)  
 SITE, GRADING & UTILITY PLAN - 1**  
 SCALE 1/8"



REVISION NO.	SYMBOL	DESCRIPTION	DATE	APPROVED:
ADD-2	2	REV. LIMITS OF GRADING & DISTURBED AREA LEGEND AND NOTE 14.	5/27/16	
ADD-1	1	ADDED NOTES & CALLOUTS.	5/19/16	

**DEPARTMENT OF HUMAN SERVICES**  
 HAWAII PUBLIC HOUSING AUTHORITY  
 STATE OF HAWAII

**PALOLO VALLEY HOMES MODERNIZATION PHASE 3**  
 (BLDG. 12)

**SITE, GRADING & UTILITY PLAN - 2**

ENGINEERING CONCEPTS, INC.  
 15-018-108-Z  
 05-08-16

**C-302**  
 SHEET 10



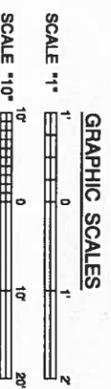
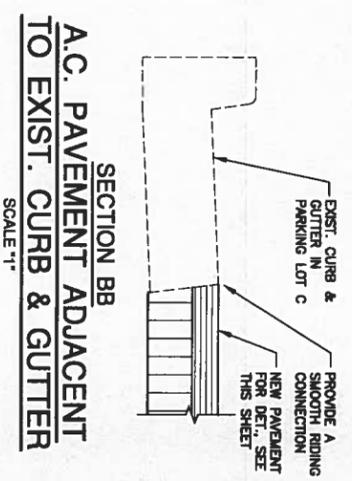
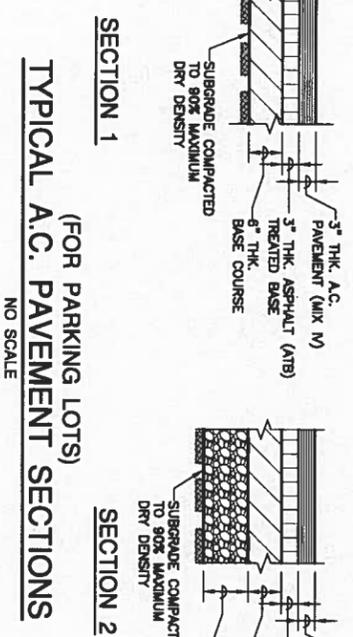
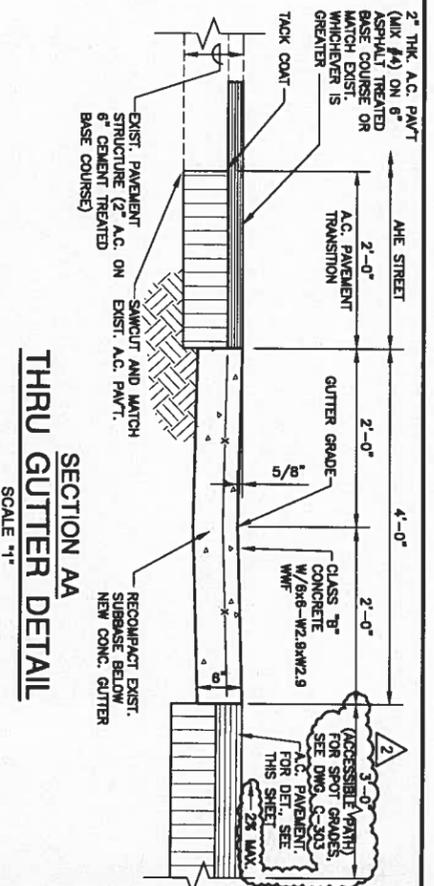
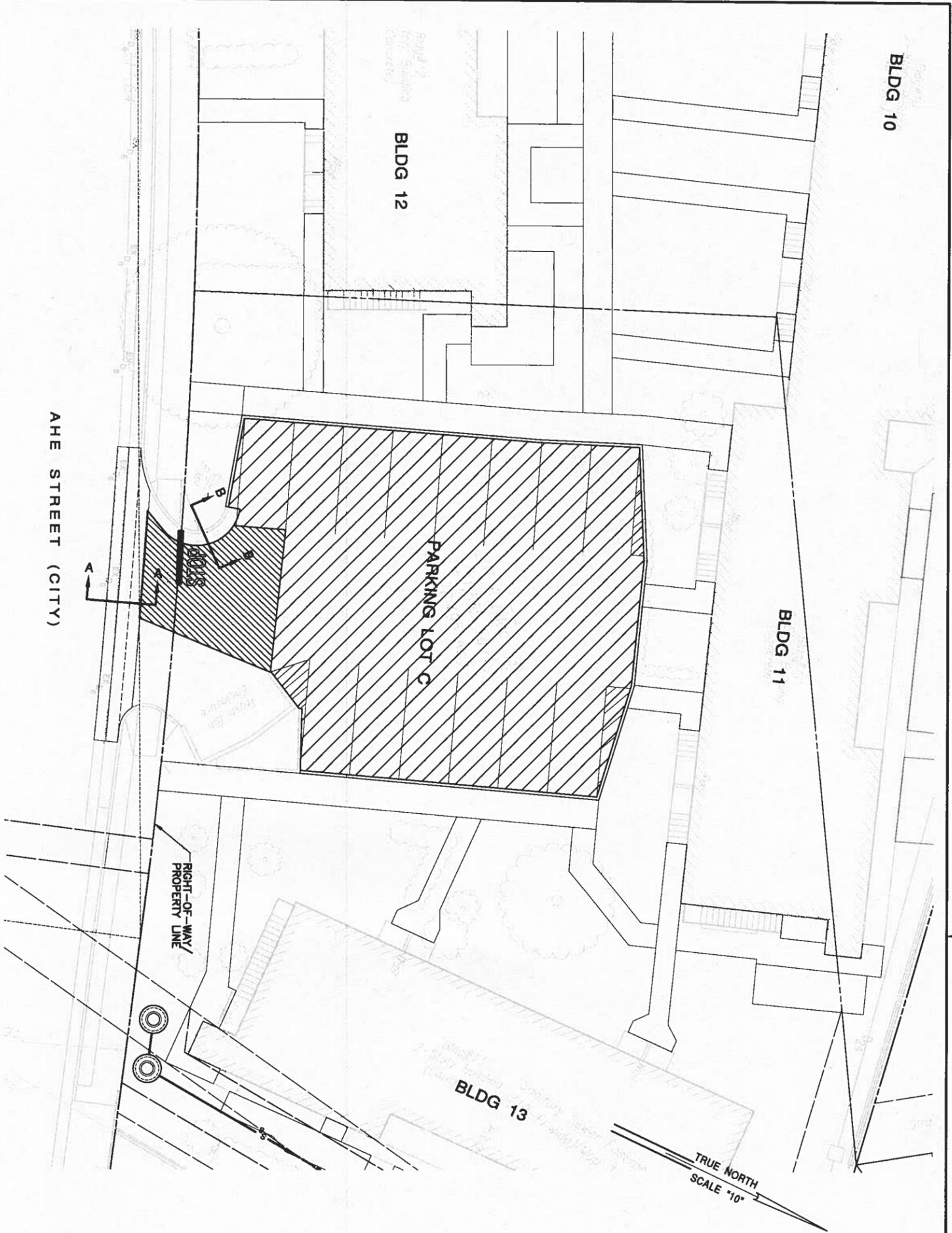
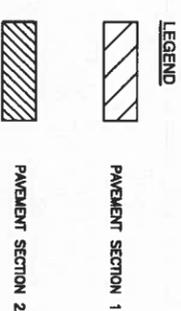
THIS PLAN HAS BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF HAWAII. I HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF HAWAII AND THAT I AM THE DESIGNER OF THIS PLAN. I AM NOT PROVIDING ANY SERVICES TO ANY OTHER PROJECTS AT THE SAME TIME AS THIS PROJECT.

*Young W. H. Young*  
 LICENSED PROFESSIONAL ENGINEER  
 No. 5786-C  
 HAWAII, U.S.A.



- NOTES:**
- CONTRACTOR SHALL EXERCISE CARE WHEN EXCAVATING FOR THE PAVEMENT SECTION NEAR EXISTING CURBS, GUTTERS, CONC. RESPONSIBLE FOR ANY DAMAGES INCURRED.
  - FOR LIMITS OF GRADING & DISTURBED AREA, SEE DWG. C-303.

**PAVEMENT PLAN**  
 SCALE 1/10"



REVISION NO.	DATE	DESCRIPTION
ADD-2	5/27/16	REV. NOTES AND THRU GUTTER DETAIL

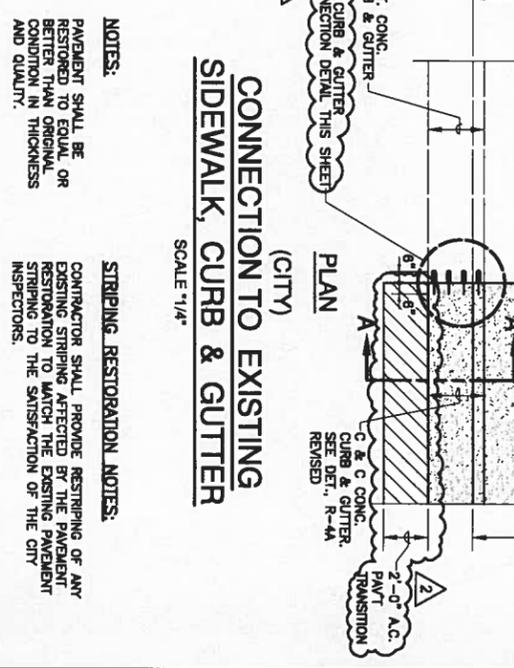
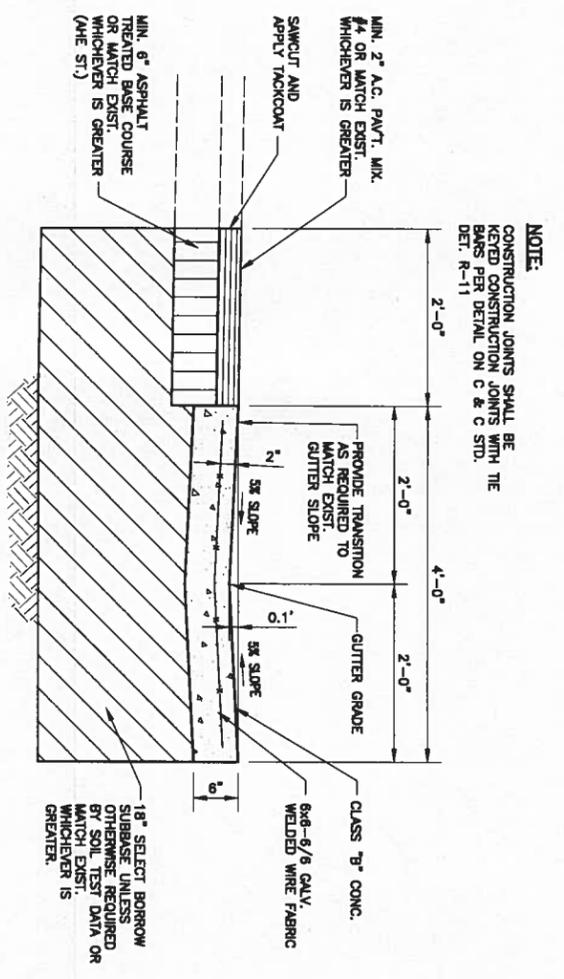
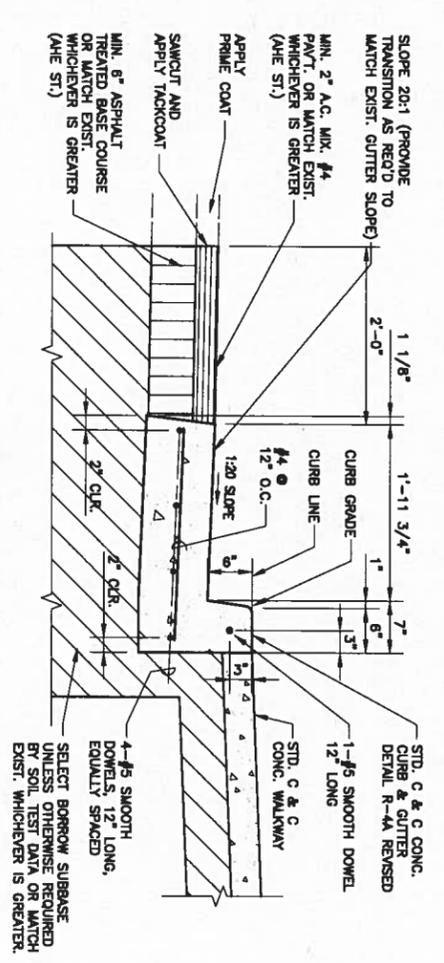
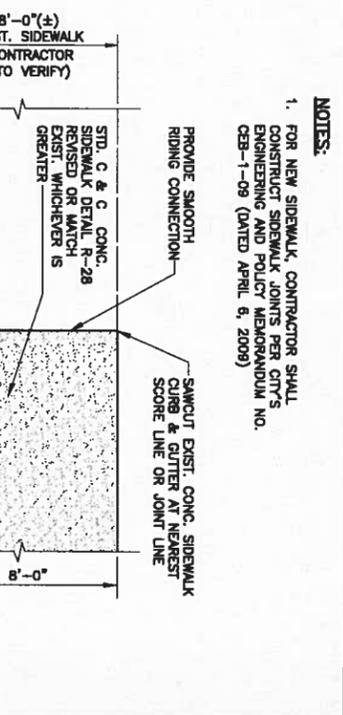
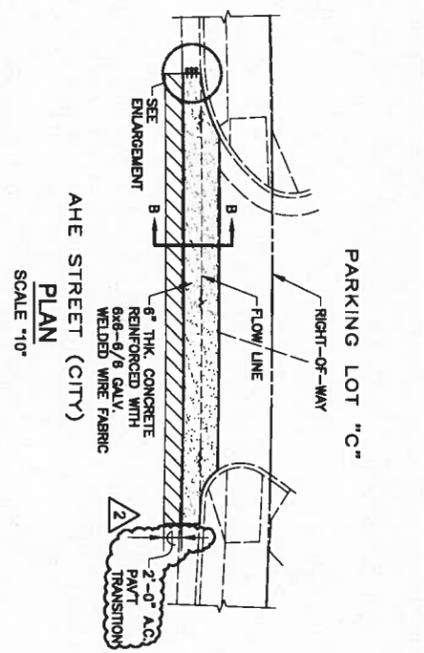
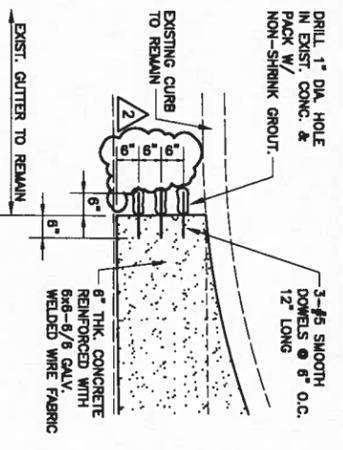
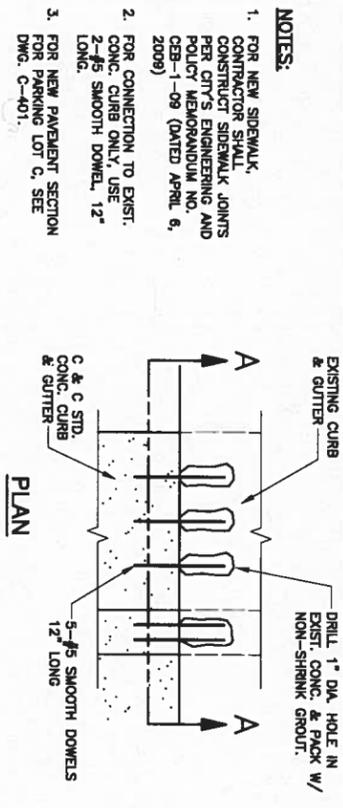
  

DESIGNED BY	CA	CHECKED BY	CA
DRAWN BY	CA	APPROVED BY	CA
DATE	05-08-16	SHEET	12
SCALE	AS INDICATED	OF	99

ENGINEERING CONCEPTS, INC.	HAWAII JOB NO.	DRAWING NO.
15-016-108-Z		C-401
PAOLO VALLEY HOMES MODERNIZATION PHASE 3	DEPARTMENT OF HUMAN SERVICES HAWAII PUBLIC HOUSING AUTHORITY	





**NOTES:**

- FOR NEW SIDEWALK, CONTRACTOR SHALL CONSTRUCT SIDEWALK JOINTS PER CITY'S ENGINEERING AND POLICY MEMORANDUM NO. CEB-1-09 (DATED APRIL 6, 2009)
- FOR CONNECTION TO EXIST. CONC. CURB ONLY, USE 2-#5 SMOOTH DOWEL, 12" LONG.
- FOR NEW PAVEMENT SECTION FOR PARKING LOT C, SEE DWG. C-401.

**NOTES:**

- FOR NEW SIDEWALK, CONTRACTOR SHALL CONSTRUCT SIDEWALK JOINTS PER CITY'S ENGINEERING AND POLICY MEMORANDUM NO. CEB-1-09 (DATED APRIL 6, 2009)

**NOTES:**

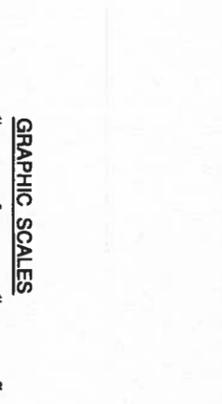
PAVEMENT SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION IN THICKNESS AND QUALITY.

**STRIPING RESTORATION NOTES:**

CONTRACTOR SHALL PROVIDE RESTRIPIING OF ANY EXISTING STRIPING AFFECTED BY THE PAVEMENT RESTORATION TO MATCH THE EXISTING PAVEMENT STRIPING TO THE SATISFACTION OF THE CITY INSPECTORS.

**THRU GUTTER DETAILS**  
 AS SHOWN

**CURB & GUTTER CONNECTION DETAILS**  
 SCALE 1"=1'



REVISION NO.	SYMBOL	DESCRIPTION	SHEET NO.	DATE	APPROVED:
ADD-2	2	REV. DETAILS	7/17	5/27/16	

DEPARTMENT OF HUMAN SERVICES  
 HAWAII PUBLIC HOUSING AUTHORITY  
 STATE OF HAWAII

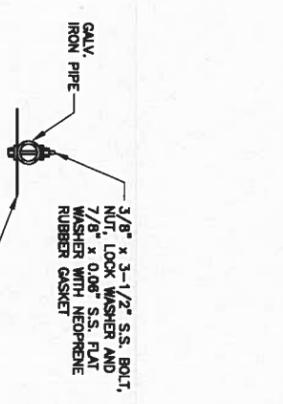
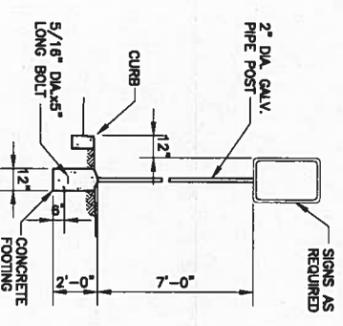
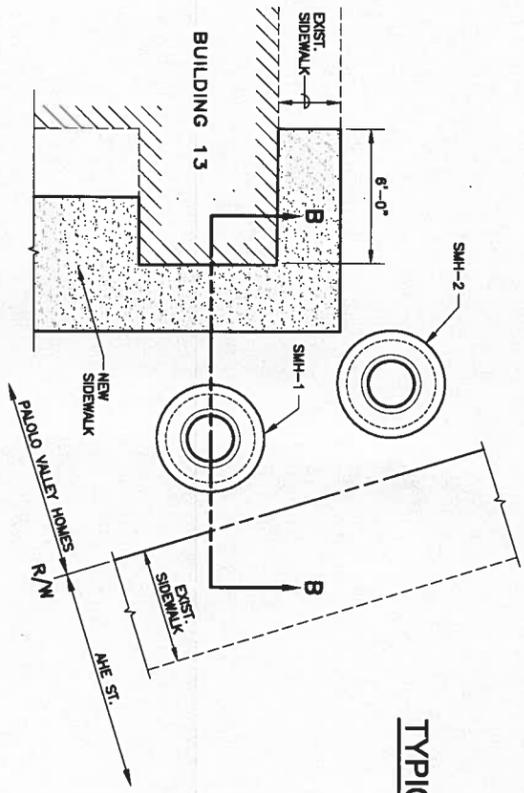
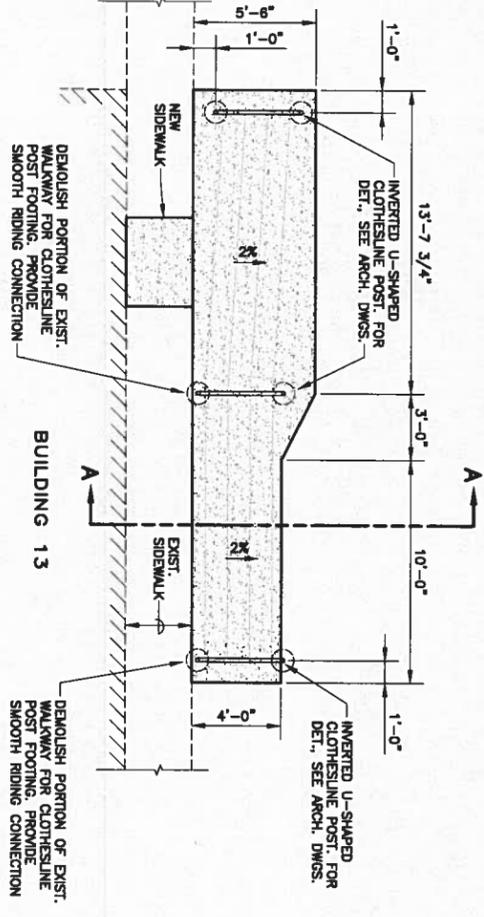
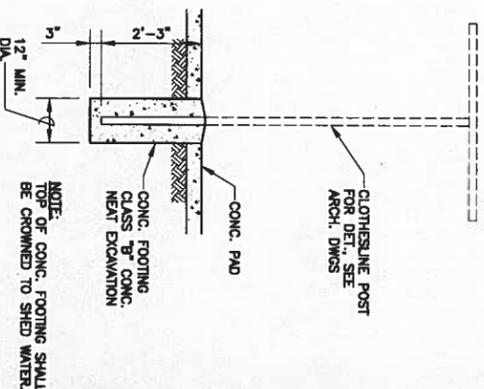
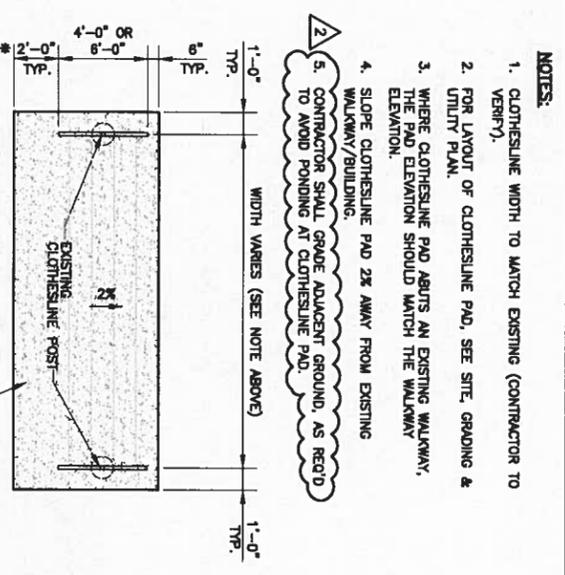
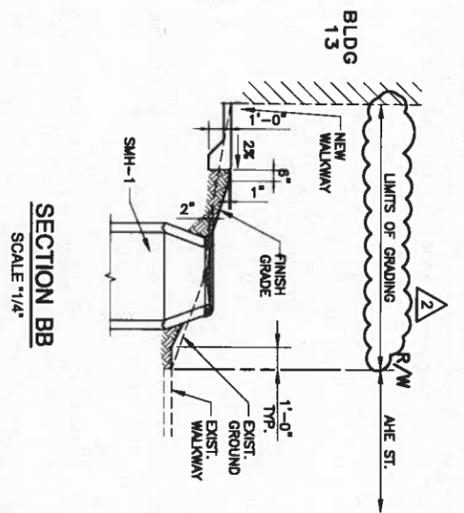
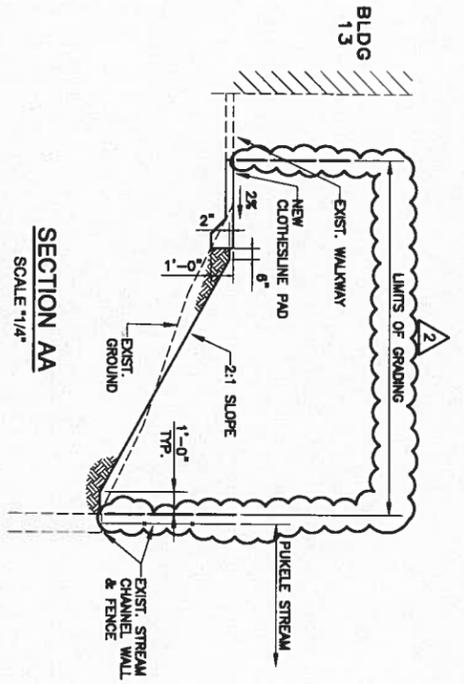
PALOLO VALLEY HOMES MODERNIZATION PHASE 3

MISCELLANEOUS DETAILS

ENGINEERING CONCEPTS, INC.  
 15-018-108-Z  
 05-08-16

DRAWING NO. **C-501**  
 SHEET **14** OF **88** SHEETS



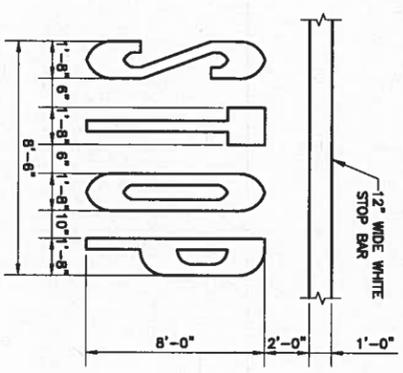


(UNITS CLOSEST TO AHE ST.)  
**CLOTHESLINE PAD FOR BLDG. 13**  
 SCALE 1/4"

**WALKWAY AT CORNER OF BLDG. 13**  
 SCALE 1/4"

**TYP. SIGN POST**  
 NO SCALE

**TYP. MOUNTING DETAIL**  
 NO SCALE



**"STOP" PAVEMENT MARKING & STOP BAR**  
 NO SCALE

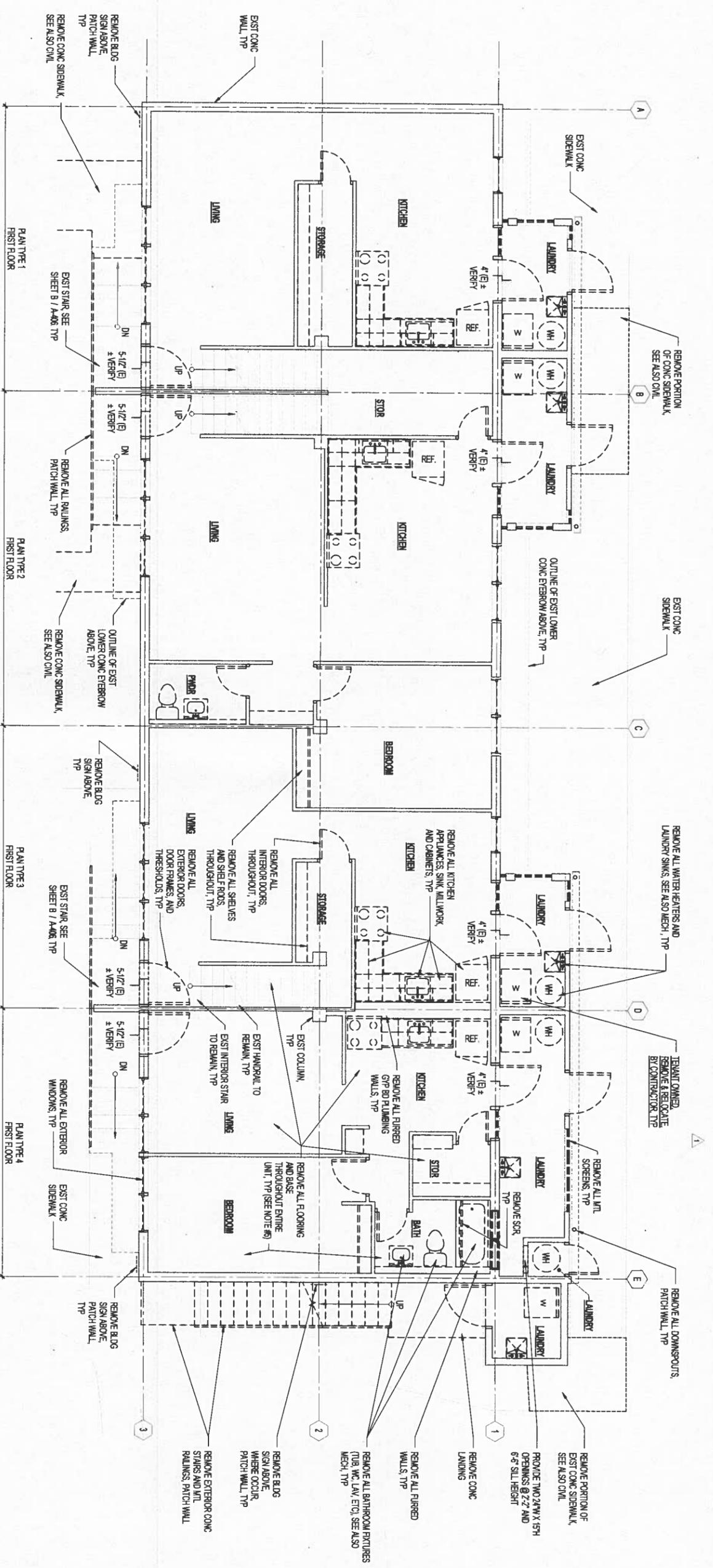


APPROVED BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

REVISION NO.	SYMBOL	DESCRIPTION	DATE
ADD-2	2	REV. DETAILS	8/17 5/27/16

LICENSED PROFESSIONAL ENGINEER YOUNG No. 5798-C HAWAII, U.S.A.		LICENSED PROFESSIONAL ENGINEER HAWAII, U.S.A.	
DEPARTMENT OF HUMAN SERVICES HAWAII PUBLIC HOUSING AUTHORITY STATE OF HAWAII			
PALOLO VALLEY HOMES MODERNIZATION PHASE 3			
MISCELLANEOUS DETAILS			
ENGINEERING CONCEPTS, INC.	PROJECT JOB NO.	DRAWING NO.	SHEET
DESIGNED BY: CA	15-016-106-Z	C-503	16
DRAWN BY: CA	DATE: 05-08-16	OF: 88	SPTS
HH	SCALE AS INDICATED		



**FIRST FLOOR DEMOLITION PLAN, BLDG TYPE A - BLDG 11 (BLDGS 12 & 13 SIM)**  
 1/4" = 1'-0"

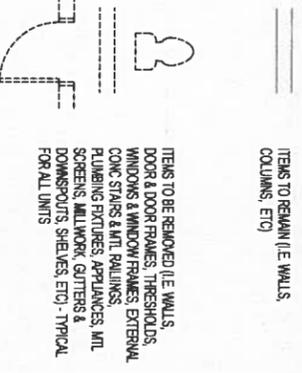
**NOTE TO CONTRACTOR:**  
 A HAZARDOUS MATERIAL SURVEY HAS DETERMINED THAT THERE IS HAZARDOUS MATERIAL PRESENT IN THE PROJECT AREA - BUILDINGS 10, 11, 12 AND 13.  
 A HAZARDOUS MATERIAL SURVEY REPORT IS MADE AVAILABLE BY THE HAWAII PUBLIC HOUSING AUTHORITY (HPHA).  
 SEE SPECIFICATIONS FOR HANDLING AND DISPOSAL OF HAZARDOUS MATERIALS (SEE SPEC SECTIONS 13201, 13202, 13206, 13208, & 01719).

**DEMOLITION PLAN NOTES:**

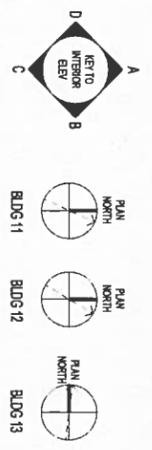
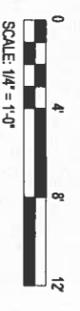
- DEMOLITION NOT LIMITED TO THIS PLAN AND NOTES LISTED BELOW. SEE ALSO GENERAL NOTES, FLOOR AND CEILING PLANS, EXTERIOR AND INTERIOR ELEVATIONS, AND DETAILS OF ALL DISCIPLINES FOR COMPLETE EXTENT OF DEMOLITION/REMOVAL WORK.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION WORK.
- ANY MECHANICAL, ELECTRICAL, OR ARCHITECTURAL DEVICES ENCOUNTERED UPON START OF DEMOLITION WORK POSING UNCERTAINTIES OR NOT COVERED IN THE DEMOLITION DRAWINGS SHALL BE REPORTED IMMEDIATELY TO THE HPHA PROJECT ENGINEER FOR REVIEW AND VERIFICATION.
- SHOULD THE CONTRACTOR ENCOUNTER OR SUSPECT ANY ADDITIONAL HAZARDOUS MATERIALS THAT IS BEYOND THE SCOPE OF WORK, DO NOT TOUCH OR DISTURB THE MATERIALS. THE CONTRACTOR SHALL NOTIFY HPHA PROJECT ENGINEER IMMEDIATELY FOR FURTHER ACTION.
- VERIFY WITH THE HPHA PROJECT ENGINEER ALL REMOVED ITEMS TO BE SALVAGE AND RETURNED FOR USE ELSEWHERE OR STORED. RELOCATE ALL ITEMS PER HPHA PROJECT ENGINEER INSTRUCTIONS. REMAINING ITEMS TO BE HAULED AWAY AS TRASH.

3. CONTRACTOR SHALL REMOVE ALL FLOORING AND FLOOR PAINT/COATINGS (PEOX, ETC.) THROUGHOUT ALL LIVING UNITS (INCLUDING AREAS NOT VISIBLE UNDERLAYMENT, BASE, FLOORING TRANSPORTS, ETC.) DOWN TO BARE CONCRETE SUBSTRATE. PREPARE SMOOTH CONC. SUBSTRATE TO RECEIVE FLOOR FINISH AS SCHEDULED.

**DEMOLITION LEGEND**



ITEMS TO BE REMOVED (E. WALLS, DOOR & DOOR FRAMES, THRESHOLDS, WINDOWS & WINDOW FRAMES, EXTERIOR CONC. STAIRS & INTL. RAILINGS, PLUMBING FIXTURES, APPLIANCES, INTL. SCREENS, ALL WORK, GUTTERS & DOWNSPOUTS, SHELVES, ETC.) - TYPICAL FOR ALL UNITS



NO.	REVISION	DATE	DESCRIPTION
ADD-2	REVISION	06/17	05/27/2016
ADD-1	REVISION	04/10	05/19/2016



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION

DEPARTMENT OF HUMAN SERVICES  
 HAWAII PUBLIC HOUSING AUTHORITY  
 HAWAII STATE OF HAWAII

PAILOU VALLEY HOMES MODERNIZATION PHASE 3

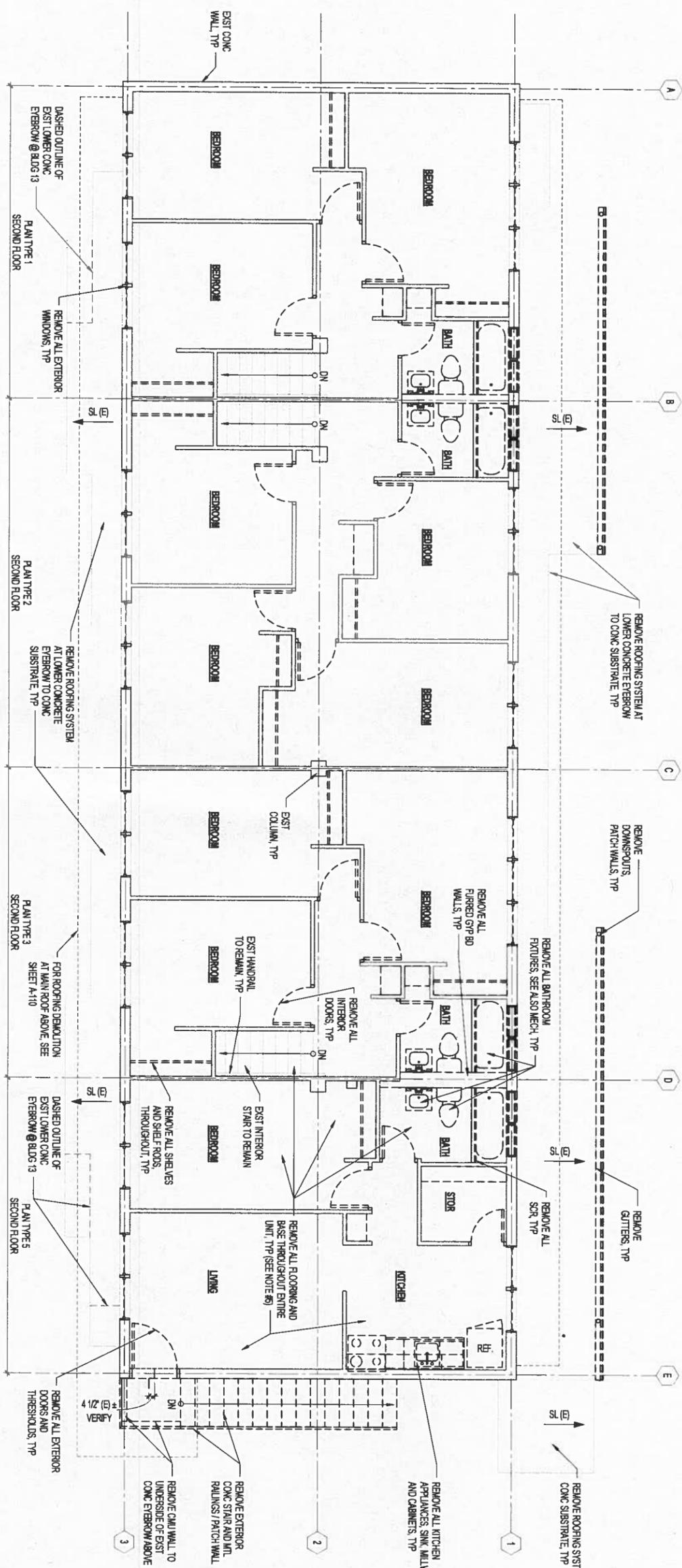
FIRST FLOOR DEMOLITION PLAN - BLDG TYPE A

BLA ARCHITECTS, INC.

DESIGNED BY: C.N., B.I., O.A.  
 DRAWN BY: K.K., A.R., H.T.  
 SCALE: AS INDICATED

HPHA JOB NO.: 15-016-108-Z  
 DATE: 05-05-15

DRAWING NO.: A-101  
 SHEET: 24 OF 38



**A**  
1/4" = 1'-0"  
**SECOND FLOOR DEMOLITION PLAN, BLDG TYPE A - BLDG 11 (BLDG 12 & 13 SIM)**

**NOTE TO CONTRACTOR:**  
A HAZARDOUS MATERIAL SURVEY HAS DETERMINED THAT THERE IS HAZARDOUS MATERIAL PRESENT IN THE PROJECT AREAS - BUILDINGS 10, 11, 12, AND 13. A HAZARDOUS MATERIAL SURVEY REPORT IS MADE AVAILABLE BY THE HAWAII PUBLIC HOUSING AUTHORITY (HPHA). SEE SPECIFICATIONS FOR HANDLING AND DISPOSAL OF HAZARDOUS MATERIALS (SEE SPEC SECTIONS 13291, 13292, 13296, 13298, & 07151).

**DEMOLITION PLAN NOTES:**  
DEMOLITION NOT LIMITED TO THIS PLAN AND NOTES LISTED BELOW. SEE ALSO GENERAL NOTES, FLOOR AND CEILING PLANS, EXTERIOR AND INTERIOR ELEVATIONS, AND DETAILS OF ALL DISCIPLINES FOR COMPLETE EXTENT OF DEMOLITION/REMOVAL WORK.  
1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION WORK.  
2. ANY MECHANICAL, ELECTRICAL, OR ARCHITECTURAL DEVICES ENCOUNTERED UPON START OF DEMOLITION WORK (PASSING UNDERMINES OR NOT COVERED IN THE DEMOLITION DRAWINGS) SHALL BE REPORTED IMMEDIATELY TO THE HPHA PROJECT ENGINEER FOR REVIEW AND VERIFICATION.  
3. SHOULD THE CONTRACTOR ENCOUNTER OR SUSPECT ANY ADDITIONAL HAZARDOUS MATERIALS THAT IS BEYOND THE SCOPE OF WORK, DO NOT TOUCH OR DISTURB THE MATERIALS. THE CONTRACTOR SHALL NOTIFY HPHA PROJECT ENGINEER IMMEDIATELY FOR FURTHER ACTION.  
4. VERIFY WITH THE HPHA PROJECT ENGINEER ALL REMOVED ITEMS TO BE SALVAGE AND RETURNED FOR USE ELSEWHERE OR STORED. RELOCATE ALL ITEMS PER HPHA PROJECT ENGINEER INSTRUCTIONS. REMAINING ITEMS TO BE HAULED AWAY AS TRASH.

5. CONTRACTOR SHALL REMOVE ALL FLOORING AND FLOOR FINISHES (INCLUDING CARPET, ETC.) THROUGHOUT ALL LIVING UNITS (INCLUDING AREAS NOT VISIBLE, UNDERLAMENT, BASE, FLOORING TRANSITIONS, ETC.) DOWN TO BARE CONCRETE SUBSTRATE. PREPARE PATCHES TO RECEIVE FLOOR FINISH AS SCHEDULED.  
6. REMOVE PAPE, TACKS, NAILS, SCREWS, FASTENERS, ETC. THROUGHOUT FROM WALLS. CONTRACTOR SHALL PATCH/PREP WALLS, COLUMNS AND CEILINGS (PROVIDE SMOOTH SURFACE) TO RECEIVE NEW WALL FINISH AS SPECIFIED.

7. THE EXISTING GROUND FLOOR CONCRETE SLAB IS SUSPENDED PRE-CAST PLANS (NOT SITTING ON GRADE). THE CONTRACTOR SHALL TAKE CARE NOT TO CUT ANY EXISTING REBAR.  
8. ANY REMAINING TENANT ITEMS IN UNIT AND SURROUNDING THE BUILDING TO BE THROWN AWAY.

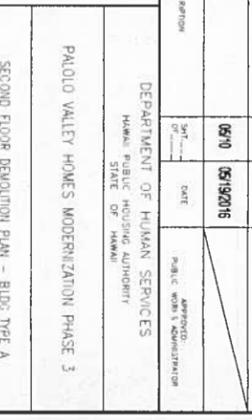
**DEMOLITION LEGEND:**  
ITEMS TO REMAIN (I.E. WALLS, COLUMNS, ETC.)  
REMOVE ALL EXTERIOR DOORS & WINDOW FRAMES, THRESHOLDS, WINDOWS & WINDOW FRAMES, EXTERNAL CONCRETE STAIRS & INT. RAILINGS, PLUMBING FIXTURES, APPLIANCES, INT. SCREENS, MILLWORK, GLITTERS & DOWNSPOUTS, SHELVES, ETC. - TYPICAL FOR ALL UNITS

**DEMOLITION PLAN NOTES:**  
DEMOLITION NOT LIMITED TO THIS PLAN AND NOTES LISTED BELOW. SEE ALSO GENERAL NOTES, FLOOR AND CEILING PLANS, EXTERIOR AND INTERIOR ELEVATIONS, AND DETAILS OF ALL DISCIPLINES FOR COMPLETE EXTENT OF DEMOLITION/REMOVAL WORK.  
1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION WORK.  
2. ANY MECHANICAL, ELECTRICAL, OR ARCHITECTURAL DEVICES ENCOUNTERED UPON START OF DEMOLITION WORK (PASSING UNDERMINES OR NOT COVERED IN THE DEMOLITION DRAWINGS) SHALL BE REPORTED IMMEDIATELY TO THE HPHA PROJECT ENGINEER FOR REVIEW AND VERIFICATION.  
3. SHOULD THE CONTRACTOR ENCOUNTER OR SUSPECT ANY ADDITIONAL HAZARDOUS MATERIALS THAT IS BEYOND THE SCOPE OF WORK, DO NOT TOUCH OR DISTURB THE MATERIALS. THE CONTRACTOR SHALL NOTIFY HPHA PROJECT ENGINEER IMMEDIATELY FOR FURTHER ACTION.  
4. VERIFY WITH THE HPHA PROJECT ENGINEER ALL REMOVED ITEMS TO BE SALVAGE AND RETURNED FOR USE ELSEWHERE OR STORED. RELOCATE ALL ITEMS PER HPHA PROJECT ENGINEER INSTRUCTIONS. REMAINING ITEMS TO BE HAULED AWAY AS TRASH.

5. CONTRACTOR SHALL REMOVE ALL FLOORING AND FLOOR FINISHES (INCLUDING CARPET, ETC.) THROUGHOUT ALL LIVING UNITS (INCLUDING AREAS NOT VISIBLE, UNDERLAMENT, BASE, FLOORING TRANSITIONS, ETC.) DOWN TO BARE CONCRETE SUBSTRATE. PREPARE PATCHES TO RECEIVE FLOOR FINISH AS SCHEDULED.  
6. REMOVE PAPE, TACKS, NAILS, SCREWS, FASTENERS, ETC. THROUGHOUT FROM WALLS. CONTRACTOR SHALL PATCH/PREP WALLS, COLUMNS AND CEILINGS (PROVIDE SMOOTH SURFACE) TO RECEIVE NEW WALL FINISH AS SPECIFIED.

7. THE EXISTING GROUND FLOOR CONCRETE SLAB IS SUSPENDED PRE-CAST PLANS (NOT SITTING ON GRADE). THE CONTRACTOR SHALL TAKE CARE NOT TO CUT ANY EXISTING REBAR.  
8. ANY REMAINING TENANT ITEMS IN UNIT AND SURROUNDING THE BUILDING TO BE THROWN AWAY.

**DEMOLITION LEGEND:**  
ITEMS TO REMAIN (I.E. WALLS, COLUMNS, ETC.)  
REMOVE ALL EXTERIOR DOORS & WINDOW FRAMES, THRESHOLDS, WINDOWS & WINDOW FRAMES, EXTERNAL CONCRETE STAIRS & INT. RAILINGS, PLUMBING FIXTURES, APPLIANCES, INT. SCREENS, MILLWORK, GLITTERS & DOWNSPOUTS, SHELVES, ETC. - TYPICAL FOR ALL UNITS

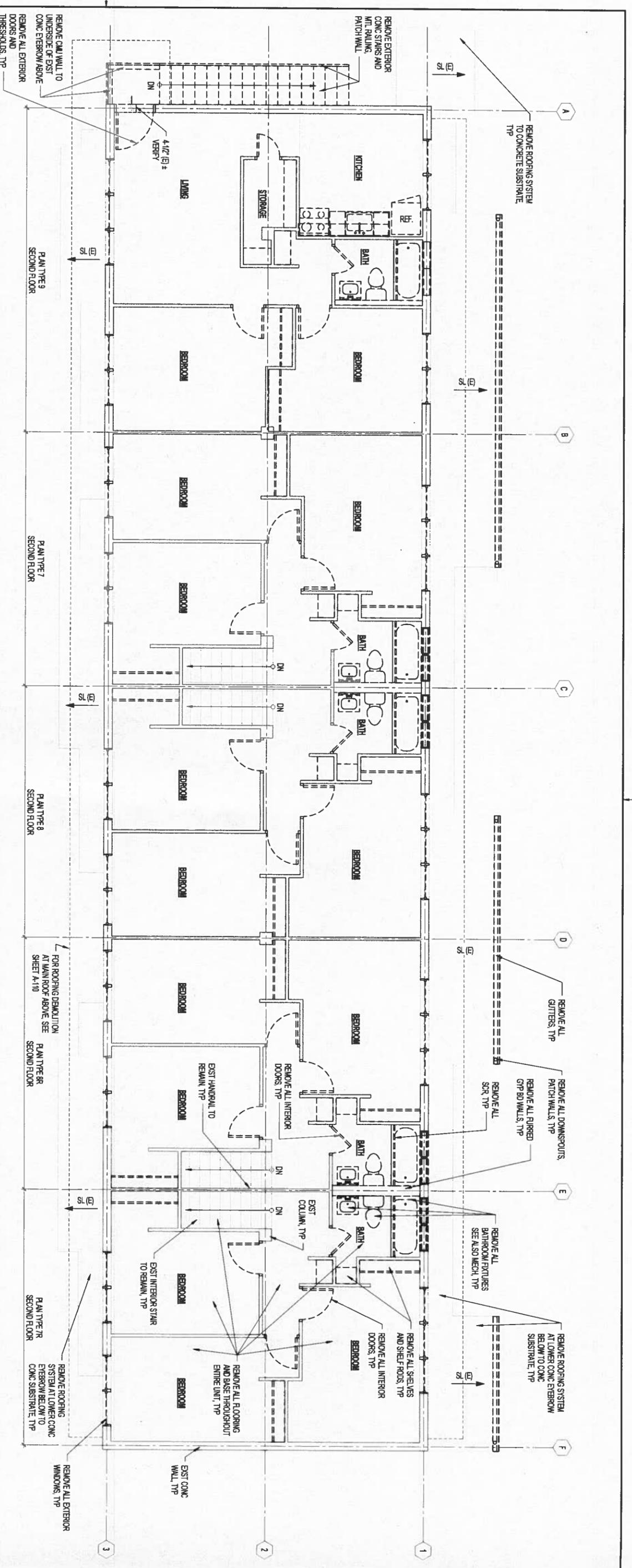


NO.	REVISION	DATE	DESCRIPTION
ADD-2	2	06/27/2016	REVISED NOTE
ADD-1	1	05/19/2016	ADDED NOTE

BRENT TOKI  
 LICENSED PROFESSIONAL ARCHITECT  
 No. 11790  
 STATE OF HAWAII

DEPARTMENT OF HUMAN SERVICES  
 HAWAII PUBLIC HOUSING AUTHORITY  
 HAWAII STATE OF HAWAII  
 PALOLO VALLEY HOMES MODERNIZATION PHASE 3  
 SECOND FLOOR DEMOLITION PLAN - BLDG TYPE A  
 BSA ARCHITECTS, INC.  
 DRAWN BY: C.N., B.T., Q.A.  
 CHECKED BY: C.N., B.T., Q.A.  
 DATE: 05-01-16-108-2  
 SHEET: A-102  
 OF: 25  
 SCALE: AS INDICATED  
 DATE: 05-05-16  
 BY: 38





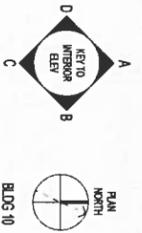
**A**  
1/4" = 1'-0"  
**SECOND FLOOR DEMOLITION PLAN, BLDG TYPE B - BLDG 10**

**NOTE TO CONTRACTOR:**  
A HAZARDOUS MATERIAL SURVEY HAS DETERMINED THAT THERE IS HAZARDOUS MATERIAL PRESENT IN THE PROJECT AREA - BUILDINGS 10, 11, 12 AND 13.  
A HAZARDOUS MATERIAL SURVEY REPORT IS MADE AVAILABLE BY THE HAWAII PUBLIC HOUSING AUTHORITY (HPHA).  
SEE SPECIFICATIONS FOR HANDLING AND DISPOSAL OF HAZARDOUS MATERIALS (SEE SPEC SECTIONS 1201, 1202, 1206, 1208, & 01715).

**DEMOLITION PLAN NOTES:**  
DEMOLITION NOT LIMITED TO THIS PLAN AND NOTES LISTED BELOW. SEE ALSO GENERAL NOTES, FLOOR AND CEILING PLANS, EXTERIOR AND INTERIOR ELEVATIONS, AND DETAILS OF ALL DISCIPLINES FOR COMPLETE EXTENT OF DEMOLITION / REMOVAL WORK.  
1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION WORK.  
2. ANY MECHANICAL, ELECTRICAL, OR ARCHITECTURAL DEVICES ENCOUNTERED UPON START OF DEMOLITION WORK POSING INSTANTANEOUS OR NOT COVERED IN THE DEMOLITION DRAWINGS SHALL BE REPORTED IMMEDIATELY TO THE HPHA PROJECT ENGINEER FOR REVIEW AND VERIFICATION.  
3. SHOULD THE CONTRACTOR ENCOUNTER OR SUSPECT ANY ADDITIONAL HAZARDOUS MATERIALS THAT IS BEYOND THE SCOPE OF WORK, DO NOT TOUCH OR DISTURB THE MATERIALS. THE CONTRACTOR SHALL NOTIFY HPHA PROJECT ENGINEER IMMEDIATELY FOR FURTHER ACTION.  
4. VERIFY WITH THE HPHA PROJECT ENGINEER ALL REMOVED ITEMS TO BE SALVAGED AND RETURNED FOR REUSE. OTHERWISE OR STORED. RELOCATE ALL ITEMS PER HPHA PROJECT ENGINEER INSTRUCTIONS. REMAINING ITEMS TO BE HAULED AWAY AS TRASH.

5. CONTRACTOR SHALL REMOVE ALL FLOORING AND FLOOR FINISHES (INCLUDING AREAS NOT VISIBLE, UNDERLAYMENT, BASE, FLOORING TRANSITIONS, ETC.) DOWN TO BARE CONCRETE SUBSTRATE. PREPARE SMOOTH CONCRETE SUBSTRATE TO RECEIVE FLOOR FINISH AS SCHEDULED.  
6. REMOVE TAPE, TACKS, WALLS, SCREENS, FASTENERS, ETC. THROUGHOUT FROM WALLS. CONTRACTOR SHALL PATCH/REPAIR WALLS, COLUMNS AND CEILINGS PROVIDE SMOOTH SURFACE TO RECEIVE NEW WALL FINISH AS SPECIFIED.  
7. THE EXISTING GROUND FLOOR CONCRETE SLAB IS SUSPENDED PRE-CAST PLANS NOT SITTING ON GRADE. THE CONTRACTOR SHALL TAKE CARE NOT TO CUT ANY EXISTING REBAR.  
8. ANY REMAINT TENANT ITEMS IN UNIT AND SURROUNDING THE BUILDING TO BE THROWN AWAY.

**DEMOLITION LEGEND**  
ITEMS TO REMAIN (I.E. WALLS, COLUMNS, ETC.)  
ITEMS TO BE REMOVED (I.E. WALLS, DOOR & DOOR FRAMES, THRESHOLDS, WINDOWS & WINDOW FRAMES, EXTERIOR CONCRETE STAIRS & INTL. RAILINGS, FLOORING FIXTURES, APPLIANCES, INTL. SCREENS, MILLWORK, GLITTERS & DOWNSPOUTS, SHELVES, ETC.) - TYPICAL FOR ALL UNITS



NO.	REVISION NOTE	DATE	BY	APPROVED BY
ADD-2	2	12/17	06/27/2016	
ADD-1	1	07/10	05/19/2016	



DEPARTMENT OF HUMAN SERVICES  
HAWAII PUBLIC HOUSING AUTHORITY  
STATE OF HAWAII

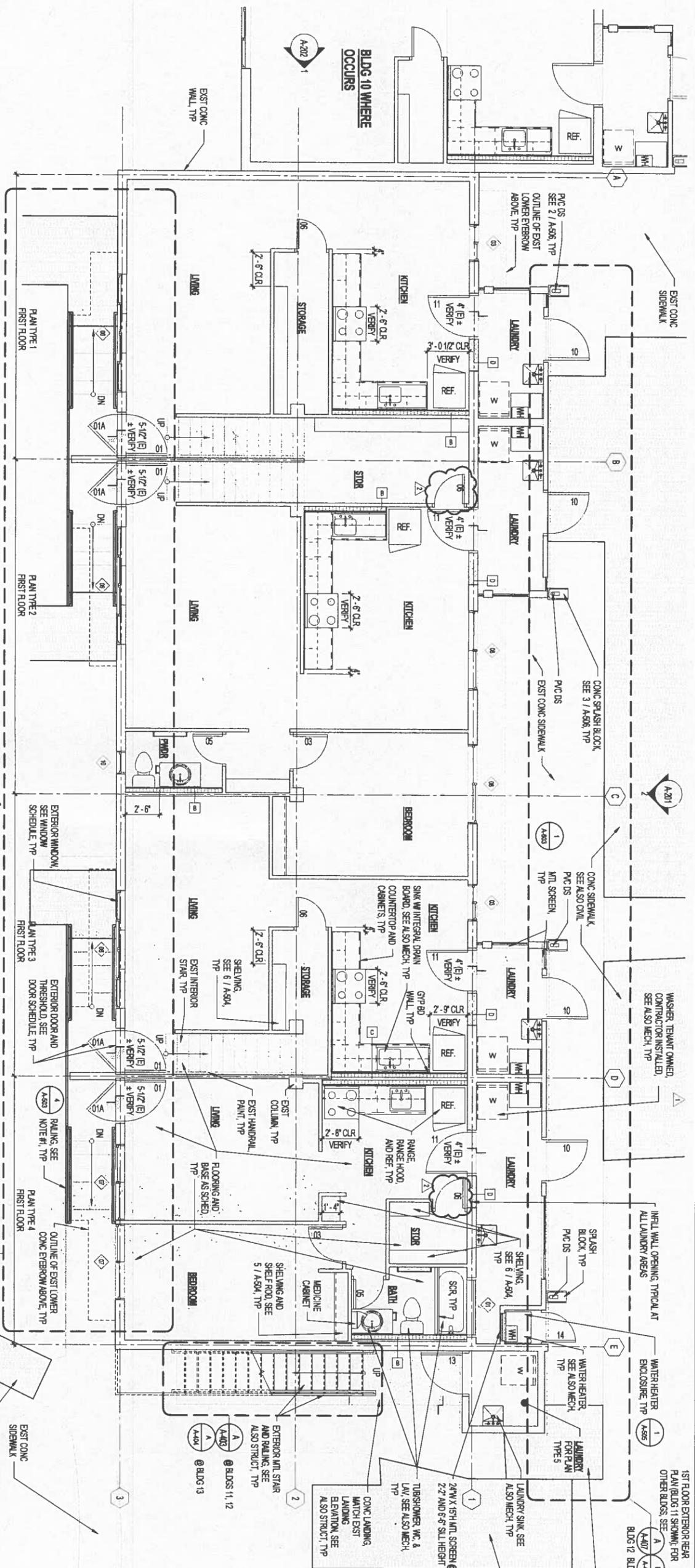
THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION.

PAOLO VALLEY HOMES MODERNIZATION PHASE 3  
SECOND FLOOR DEMOLITION PLAN - BLDG TYPE B

DATE: 05-06-16

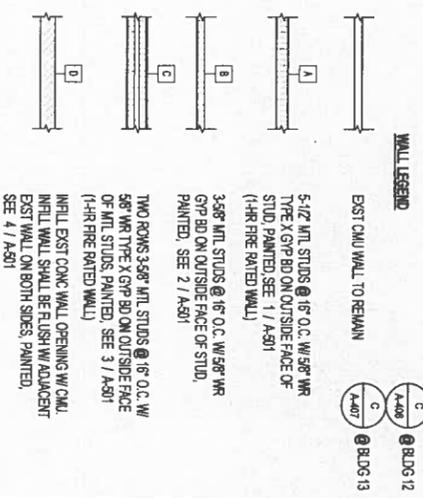
SHEET: 27

SCALE: AS INDICATED



**A**  
1/4" = 1'-0"  
**FIRST FLOOR PLAN, BLDG TYPE A - BLDG 11 (BLDGS 12 & 13 SIM)**

- FLOOR PLAN NOTES**
1. PATCH HOLES / GRABS FROM STAIR AND RAILING BEHALF FULL HOLES / GRABS WITH POLYMER MODIFIED CEMENT MORTAR GRACK FILLER. SEE ALSO ON STRUCTURAL DRAWINGS. PAINT EXPOSED STAIR STRINGER PER BUILDING COLOR SCHEME.
  2. CONSTRUCTION TO FIELD MEASURE EXIST TROUGH OPENINGS FOR MTL SCREENS IN LAUNDRY ROOM AREAS AND FABRICATE MTL SCREENS AND FRAMING ACCORDINGLY.
  3. ALL INTERIOR WALLS TO BE PAINTED PT-17, UNLESS NOTED OTHERWISE.
  4. ALL INTERIOR FLOORS TO BE RESILIENT FLOOR VCT-1 EXCEPT AT INTERIOR CONCRETE STAIRS WHICH ARE TO BE RE-1 WITH STAIR NOSING SM-1.
  5. EXIST INTERIOR STAIR HANDRAILS TO REMAIN SHALL BE PAINTED PT-17, UNLESS NOTED OTHERWISE.
  6. THE EXISTING GROUND FLOOR CONCRETE SLAB IS SUSPECTED PRE-CAST PLANS (NOT SITTING ON GRADE). THE CONTRACTOR SHALL TAKE CARE NOT TO CUT ANY EXISTING REBAR.
  7. ADD BLOCKING AT ALL TUBSHOWER STALS FOR FUTURE GRAB BARS AT GPP BD WALLS.

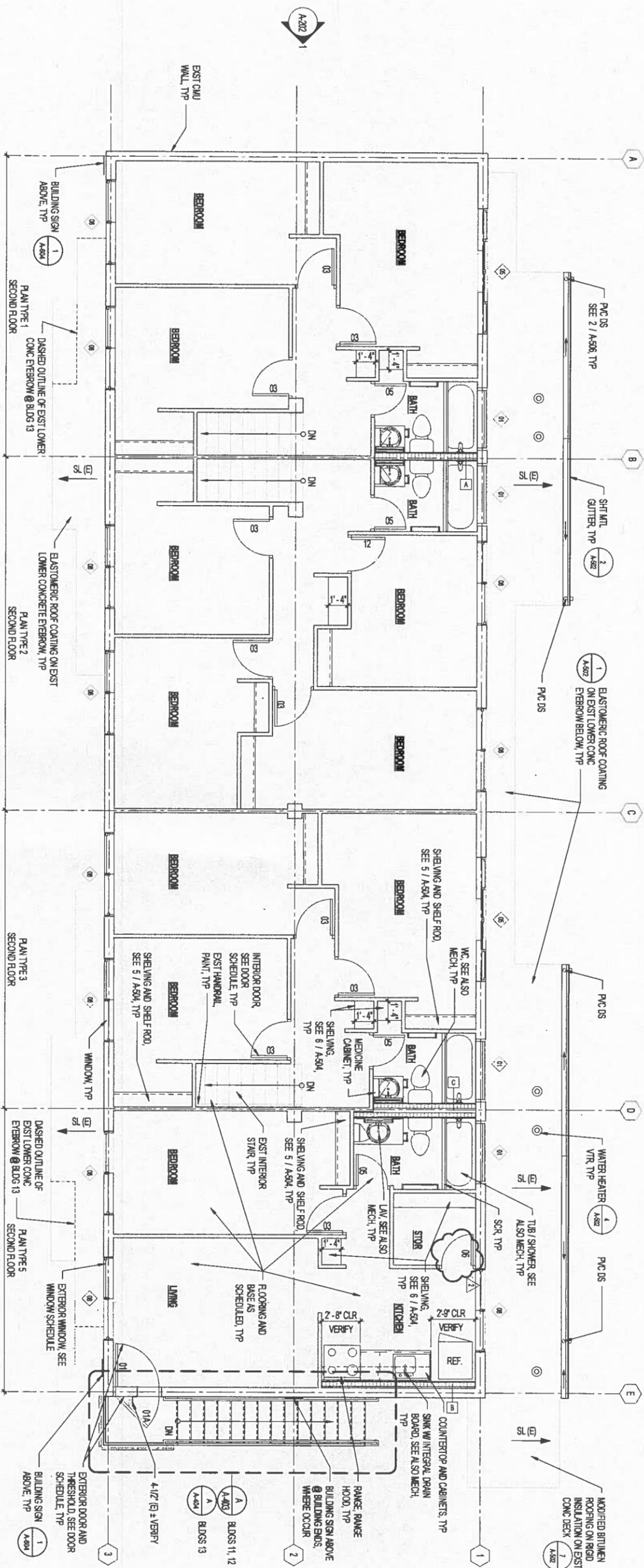


NO.	REVISION	DATE	DESCRIPTION
ADD-2	REVERSE DOOR	13/17	05/27/2016
ADD-1	REVISED NOTE	09/10	05/19/2016



DEPARTMENT OF HUMAN SERVICES  
HAWAII PUBLIC HOUSING AUTHORITY  
STATE OF HAWAII

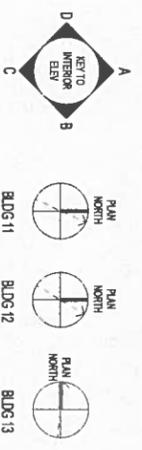
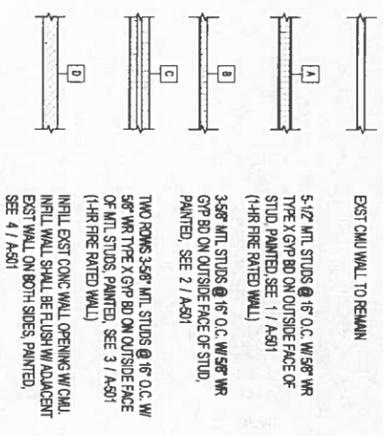
THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION DATE: 05-05-16 SCALE: AS INDICATED	PALOALO VALLEY HOMES MODERNIZATION PHASE 3 FIRST FLOOR PLAN - BLDG TYPE A	DRAWING NO. <b>A-105</b>	SHEET <b>28</b>	OF <b>98</b> SHEETS
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**A** SECOND FLOOR PLAN BLDG, TYPE A - BLDG 11 (BLDGS 12 & 13 SIM)  
1/4" = 1'-0"

- FLOOR PLAN NOTES:**
- PATCH HOLES / CRACKS FROM STAIR AND RAILING REMOVAL. FILL HOLES / CRACKS WITH POLYMER MODIFIED CEMENT MORTAR CRACK FILLER. SEE ALSO ON STRUCTURAL DRAWINGS. PAINT EXPOSED STAIR STRINGER PER BUILDING COLOR SCHEME.
  - CONTRACTOR TO FIELD MEASURE EXIST TROUGH OPENINGS FOR MTL SCREENS AT LAUNDRY ROOM AREAS AND FABRICATE MTL SCREENS AND FRAMING ACCORDINGLY.
  - ALL INTERIOR WALLS TO BE PAINTED PF-17, UNLESS NOTED OTHERWISE.
  - ALL INTERIOR FLOORS TO BE RESILIENT FLOOR VCT-1, EXCEPT AT INTERIOR CONCRETE STAIRS WHICH ARE TO BE RE-1 WITH STAIR MOLDING SM-1.
  - EXIST INTERIOR STAIR HANDRAILS TO REMAIN SHALL BE PAINTED PF-17, UNLESS NOTED OTHERWISE.
  - THE EXISTING GROUND FLOOR CONCRETE SLAB IS SUSPENDED. PRE-CAST PLANKS NOT SITTING ON GRADE. THE CONTRACTOR SHALL TAKE CARE NOT TO CUT ANY EXISTING REBAR.
  - ADD BLOCKING AT ALL TUBSHOWER STALLS FOR FUTURE GRAB BARS AT GYP BD WALLS.

**WALL LEGEND**



PROJECT NO.	ADD-2	DATE	10/17/16
REVISION	REUSE DOOR	DATE	05/27/2016
DESIGNER		DATE	
APPROVED		DATE	

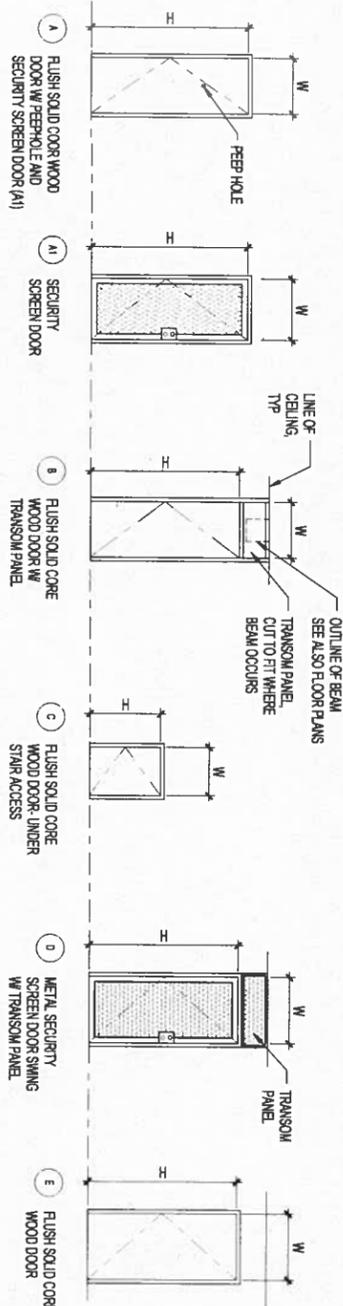


EXPIRES APRIL 30 2018  
BRENT TOKI  
LICENSED PROFESSIONAL ARCHITECT  
NO. 11750  
STATE OF HAWAII

DEPARTMENT OF HUMAN SERVICES HAWAII PUBLIC HOUSING AUTHORITY STATE OF HAWAII	APPROVED PUBLIC WORKS ADMINISTRATION
SECOND FLOOR PLAN - BLDG TYPE A	DRAWING NO. A-106
BLM ARCHITECTS, INC.	SHEET 29
DRAWING BY: C.N. B.T., C.N. B.T., C.N.	DATE 05-05-16
CHANG BY: K.K. A.R., H.T.	DATE 05-05-16
SCALE: AS INDICATED	DATE 05-05-16

**DOOR SCHEDULE**

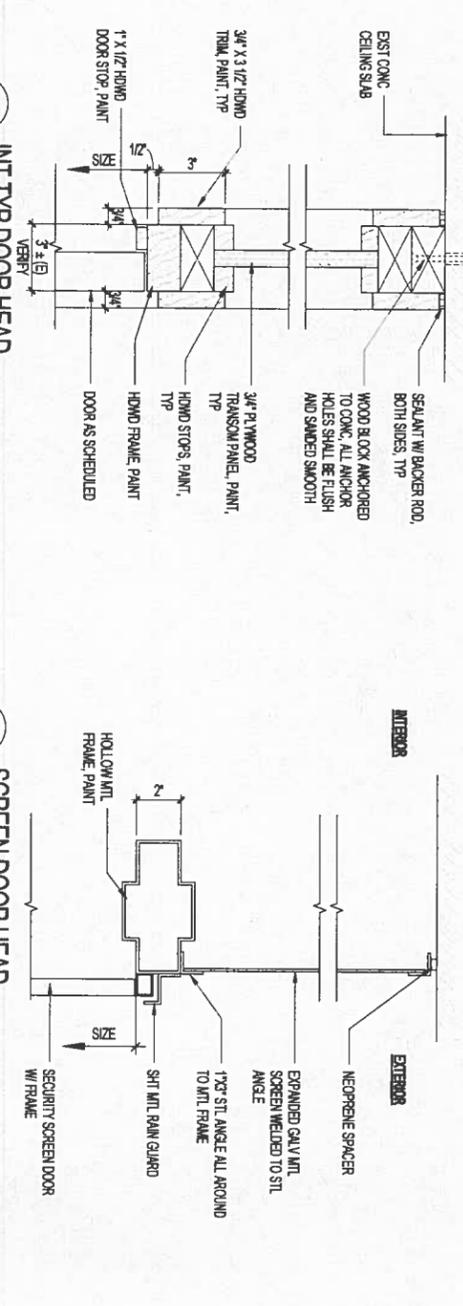
DOOR	SIZE			MATERIAL	FRAME DETAILS			FINISH GROUP	REMARKS
	TYPE	WIDTH	HEIGHT		THICKNESS	HEAD	JAMB		
01	A	3'-0"	7'-0"	1 3/4"	HM	1/A-802	1/A-802	2/A-802	1
01A	A1	3'-0"	7'-0"	1 3/4"	MTL				2
03	B	2'-6"	6'-8"	1 3/4"	WD	5/A-802	6/A-802	7/A-802	3
05	B	2'-2"	6'-8"	1 3/4"	WD	5/A-802	6/A-802	7/A-802	4
06	B	2'-2"	6'-8"	1 3/4"	WD	5/A-802	6/A-802	7/A-802	5
07	C	2'-2"	3'-2"	1 3/4"	WD	6/A-802	6/A-802	7/A-802	5
10	D	3'-4"	6'-10"	1 3/4"	HM	3/A-802	4/A-802	N/A	5
11	E	3'-0"	7'-0"	1 3/4"	HM	1/A-802	1/A-802	2/A-802	2
12	B	2'-4"	6'-8"	1 3/4"	WD	5/A-802	6/A-802	7/A-802	3
13	E	3'-0"	7'-0"	1 3/4"	MTL	1/A-802	1/A-802	2/A-802	6
14	E	2'-2"	7'-0"	1 3/4"	HM	1/A-802	1/A-802	2/A-802	6



**DOOR TYPES**

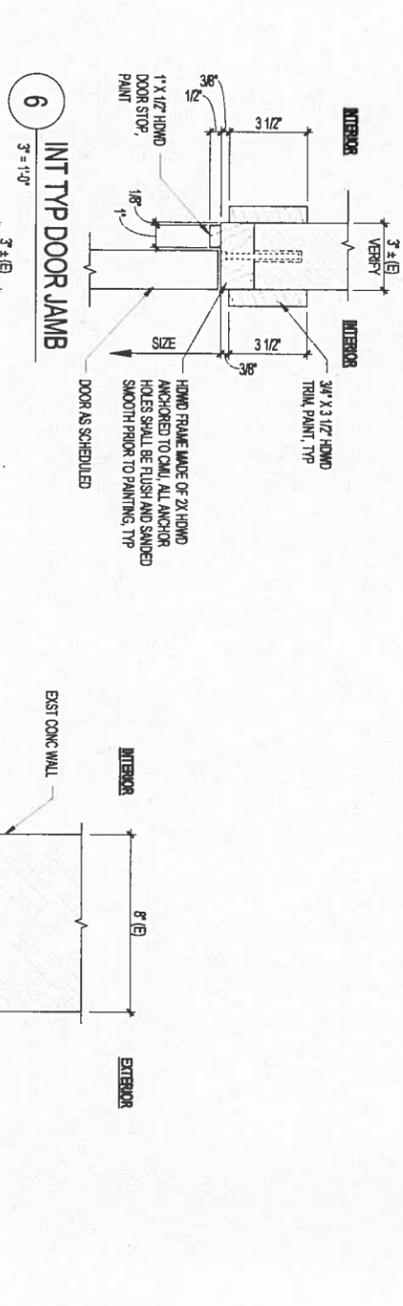
1/4" = 1'-0"

**NOTES**  
 1. ALL WINDOW AND DOOR SIZES ARE NOMINAL DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS AND ADJUST WINDOW AND DOOR DIMENSIONS TO FIT INTO EXISTING ROUGH OPENINGS UNLESS INDICATED OTHERWISE.



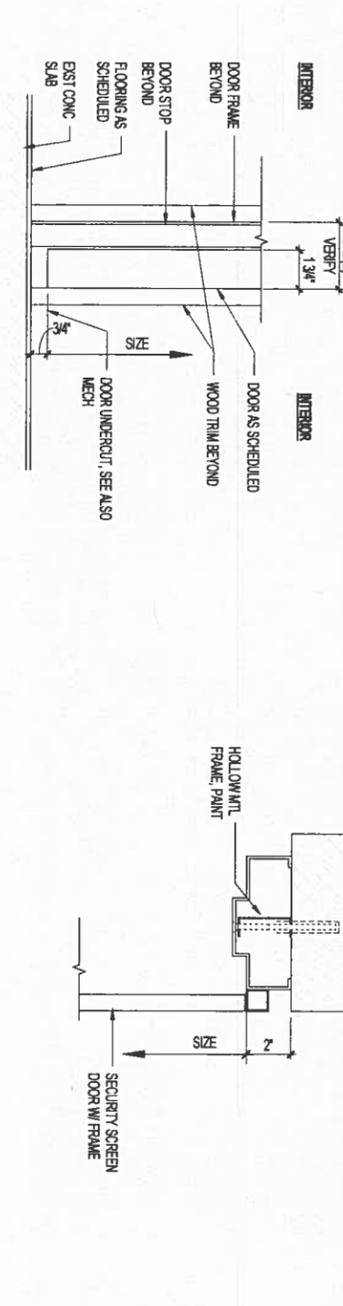
**5 INT TYP DOOR HEAD**  
 3" = 1'-0"

**3 SCREEN DOOR HEAD**  
 3" = 1'-0"



**6 INT TYP DOOR JAMB**  
 3" = 1'-0"

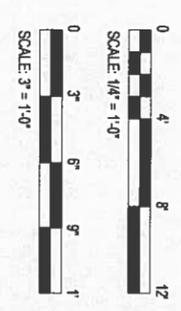
**7 INT TYP DOOR THRESHOLD**  
 3" = 1'-0"



**4 EXT SCREEN DOOR JAMB**  
 3" = 1'-0"

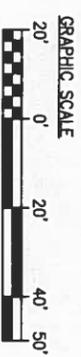
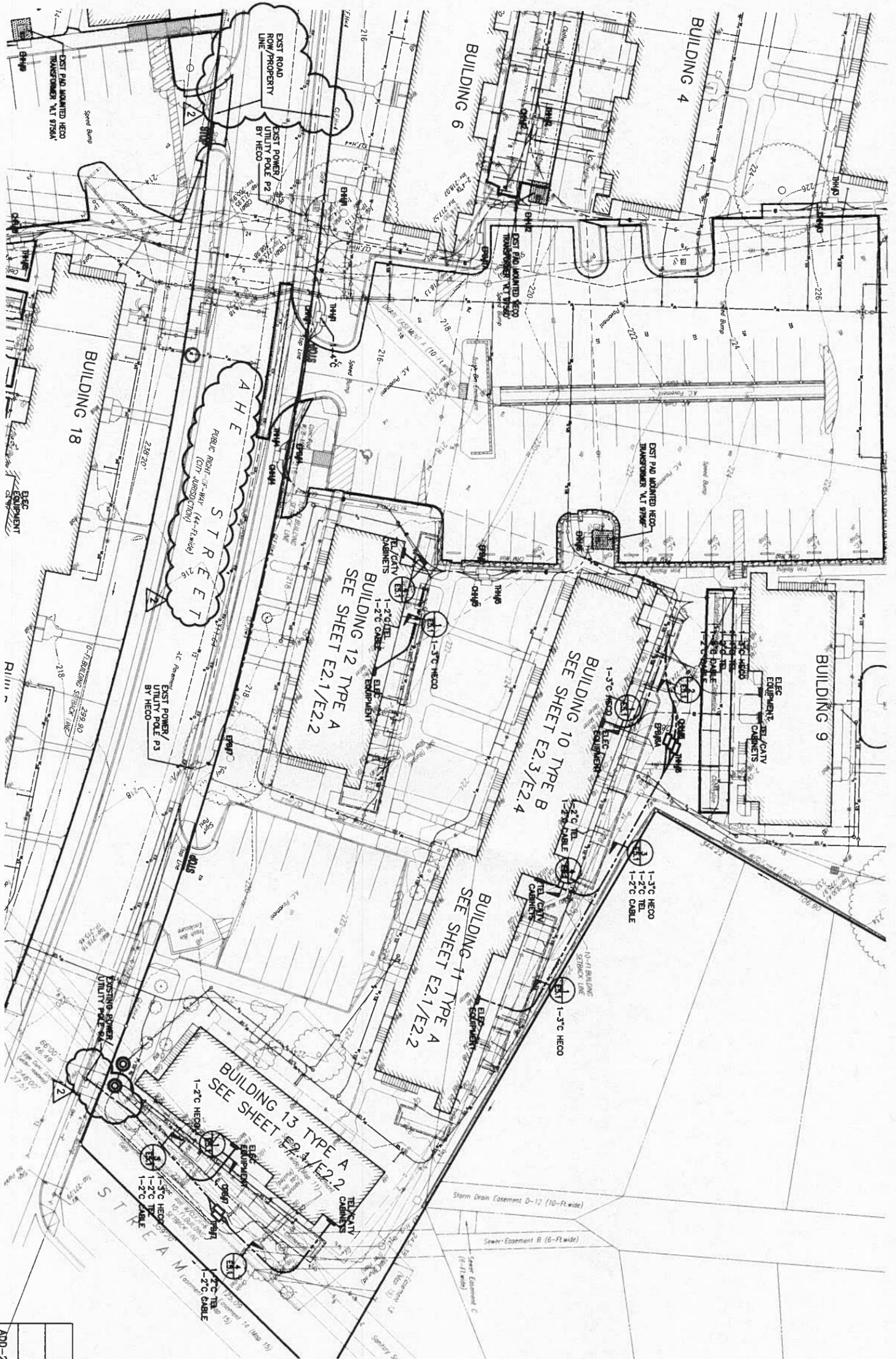
**1 EXT TYP DOOR HEAD/JAMB**  
 3" = 1'-0"

	REGION: SYD DATE: 05/27/2016 APPROVED BY: [Signature]
ADD-2 REVERSE DOOR SCHEDULE	REGION: SYD DATE: 05/27/2016 APPROVED BY: [Signature]
DEPARTMENT OF HUMAN SERVICES HAWAII PUBLIC HOUSING AUTHORITY HAWAII STATE OF HAWAII	
PALOLO VALLEY HOMES MODERNIZATION PHASE 3	
DOOR SCHEDULE AND TYPES	
DESIGNED BY: RMA ARCHITECTS, INC. CHECKED BY: C.H. BT DATE: 05-05-16	DRAWING NO: A-602 SHEET: 52 OF: 98



- NOTES:
1. DO NOT LOCATE PULLBOXES OR HANDHOLES IN EASEMENTS.
  2. MINIMIZE CONDUIT ROUTING WITHIN EASEMENTS.
  3. VERIFY AND COORDINATE ELECTRICAL/COMMUNICATION SERVICE REQUIREMENTS WITH HECO, HDO AND OCEANIC.

**1 PARTIAL SITE ELECTRICAL PLAN**  
 E11 SCALE: 1" = 20'-0"



SCALE: 1" = 20'-0"

APPROVED BY: \_\_\_\_\_  
 Chief, Civil Engineering Branch, DPP

Date: \_\_\_\_\_

REVISION NO.	DATE	DESCRIPTION
ADD-2	2	REROUTE ELEC LINE



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION.

DATE: April 26, 2016

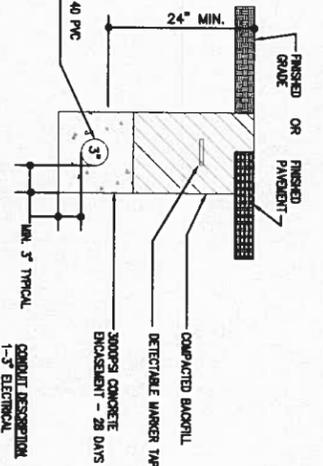
**HAWAII PUBLIC HOUSING AUTHORITY**  
 DEPARTMENT OF HUMAN SERVICES  
 STATE OF HAWAII

**PAULO VALET HOMES MODERNIZATION PHASE 3**

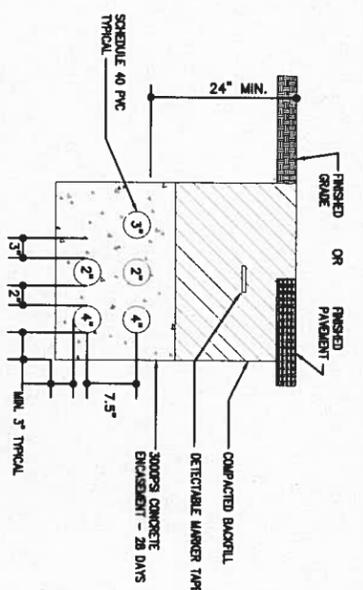
**PARTIAL SITE ELECTRICAL PLAN**

DESIGNED BY:	DATE:	APPROVED BY:	DATE:
DAVID A. BERDA	05-06-16	DAVID A. BERDA	05-06-16

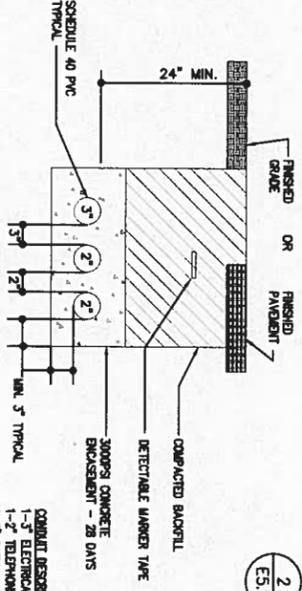
SCALE: AS NOTED



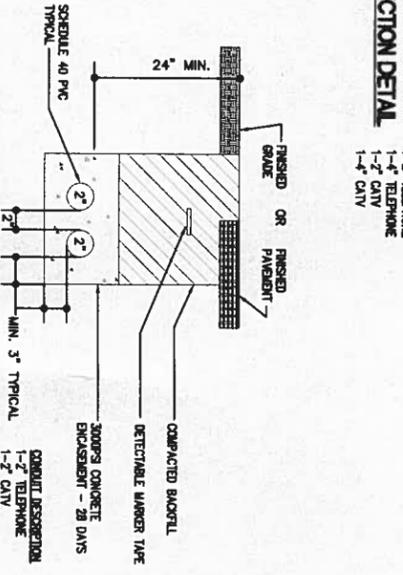
1 DUCT SECTION DETAIL  
ES:1 NOT TO SCALE



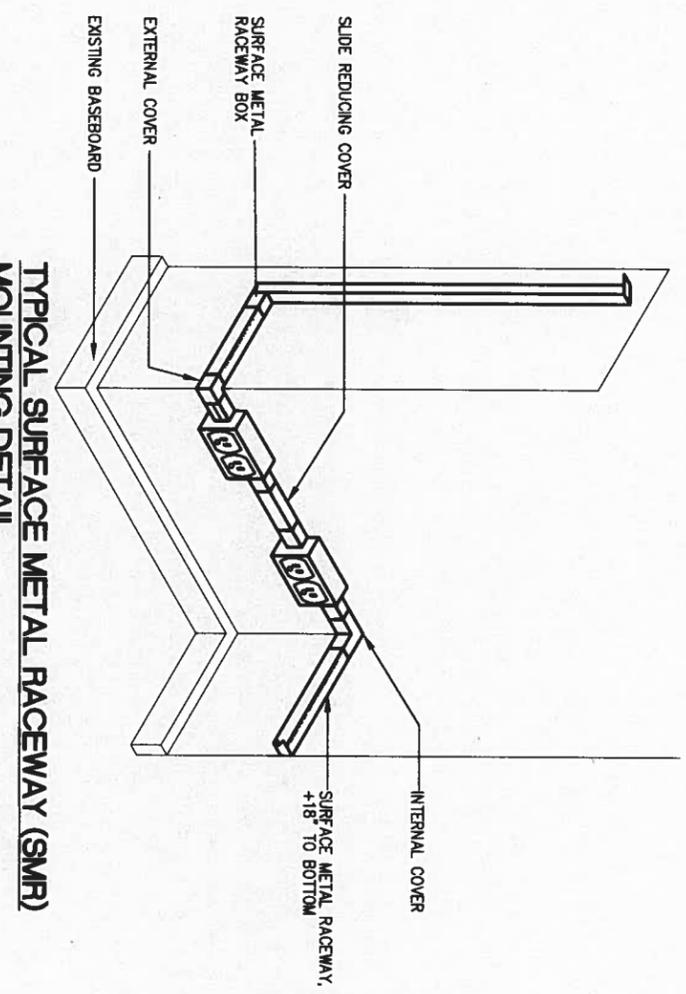
2 DUCT SECTION DETAIL  
ES:1 NOT TO SCALE



3 DUCT SECTION DETAIL  
ES:1 NOT TO SCALE



4 DUCT SECTION DETAIL  
ES:1 NOT TO SCALE



TYPICAL SURFACE METAL RACEWAY (SMR) MOUNTING DETAIL  
NOT TO SCALE

NOT TO SCALE

NOTES

1. OFFSET RACEWAY AROUND OBSTRUCTIONS. PROVIDE APPROPRIATE SURFACE METAL RACEWAY FITTINGS.
2. PROVIDE HARDWOOD FILLER BEHIND SURFACE METAL RACEWAYS AS REQUIRED TO FLUSH RACEWAYS TO WALL PROTRUSIONS. FILLER WIDTH TO MATCH WIDTH OF SMR AND SHALL EXTEND ALONG LENGTH OF RACEWAYS. PAINT TO MATCH WALL FINISH.

**DUCT SECTION DETAILS**

NOTES:

1. ALL DUCTS SHALL BE SCHEDULE 40 PVC OR EQUIVALENT & PROVIDED WITH A POLYURETHAN PULL LINE.
2. BACKFILL DATA:

TYPE 'A' BACKFILL: EARTH & GRAVEL, MAXIMUM ROCK SIZE SHALL BE 1" AND THE MIXTURE SHALL CONTAIN NOT MORE THAN 50% BY VOLUME OF ROCK PARTICLES. 95% COMPACTION. INSTALL TYPE 'A' BACKFILL IN MAXIMUM 6" LAYERS LOOSE THICKNESS PRIOR TO COMPACTION.

TYPE 'B' BACKFILL: EARTH & GRAVEL, MIXTURE MUST PASS A 1/2" MESH SCREEN & CONTAIN NOT MORE THAN 20% BY VOLUME OF ROCK PARTICLES. 95% COMPACTION. IF MATERIALS AT BOTTOM OF TRENCH IS NOT TYPE 'B', AN ADDITIONAL 3" SHALL BE EXCAVATED AND TYPE 'B' BACKFILL PROVIDED.

3. DUCT SEPARATION REQUIREMENTS:

ELEC TO ELEC..... 2"  
ELEC TO SIGNAL/COMM..... 3"  
SIGNAL/COMM TO SIGNAL/COMM..... 2"

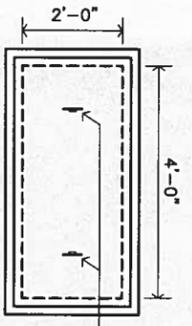
4. SEE PLANS OR DIAGRAMS FOR SIZE & NUMBER OF DUCTS. FLATTEN DUCT BANK AS REQUIRED TO PASS OVER OR UNDER EXISTING AND NEW UTILITIES.
5. PERFORM A MANDREL TEST AFTER DUCTS ARE INSTALLED.
6. EXCESS EXCAVATED MATERIAL SHALL BE HAULLED AND DISPOSED BY THE CONTRACTOR.

7. IT IS NOT THE INTENT OF THESE PLANS AND SPECIFICATIONS TO IMPLY THAT ALL EXISTING UTILITIES ARE SHOWN ON THE PLANS. ONLY THOSE KNOWN TO EXIST BY THE ENGINEER FROM HIS SEARCH OF RECORDS AT THE TIME OF DESIGN ARE INDICATED ON THESE PLANS.

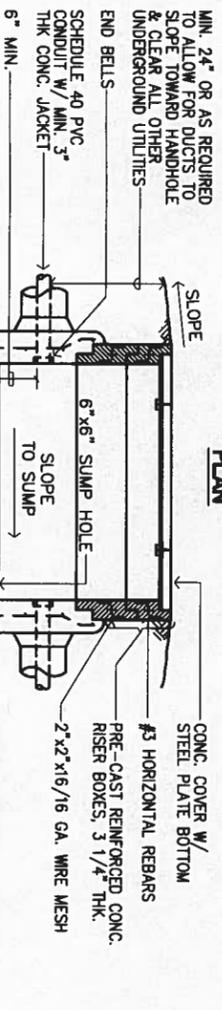
8. INVESTIGATE, PROBE, AND TONE TRVERSE OF NEW DUCTLINE. EXPOSE, LOCATE AND PROTECT THE EXISTING UNDERGROUND UTILITIES INCLUDING IRRIGATION, DRAINAGE, SEWAGE, ELECTRICAL, COMMUNICATION AND WATER SYSTEM LINES ON AFFECTED BY THIS PROJECT.

9. OPERATE THE EXISTING IRRIGATION, DRAINAGE, SEWAGE, ELECTRICAL, COMMUNICATION AND WATER SYSTEMS TO HELP DETERMINE THE LOCATION AND CONDITION OF THE VARIOUS SYSTEMS PRIOR TO START OF CONSTRUCTION.
10. EXERCISE PROPER CARE BY HAND TRENCHING WHEN EXCAVATING IN AREAS NEARBY EXISTING UNDERGROUND FACILITIES. THE CONTRACTOR TO BE RESPONSIBLE TO REPAIR AND/OR PAY ANY DAMAGES TO THE EXISTING FACILITIES, DAMAGES TO THE EXISTING FACILITIES TO BE REPORTED IMMEDIATELY TO ALL CONCERNED PARTIES. ALL REPAIR WORK SHALL BE DONE WITHIN 36 HOURS TO MATCH ITS ORIGINAL CONDITION AND IN ACCORDANCE WITH THE STANDARDS OF THE VARIOUS UTILITY COMPANIES AND AGENCIES.

11. PAVEMENT AND/OR CONCRETE SIDEWALK RESTORATION SHALL BE EQUAL OR BETTER THAN ORIGINAL IN QUALITY AND THICKNESS. CUT PAVEMENT 6" BEYOND TRENCH.
12. GRASSSED AREAS AND PLANTS DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO AS CLOSE AS THEIR ORIGINAL CONDITION AS PRACTICABLE.
13. CONTRACTOR SHALL USE HEAVY MACHINE EQUIPMENT TO EXCAVATE IF BASALT AND LARGE ROCKS ARE ENCOUNTERED.
14. CONTRACTOR SHALL SHORE, BRACE AND DEMATER WITHIN THE EXCAVATED TRENCHES AS REQUIRED.



PLAN



SECTION

**2' x 4' HANDHOLE**

SCALE: 3/4" = 1'-0"

NOTES:

1. ONE COVER SECTION ENGRAVED W/ 4" HIGH LETTERING "ELEC" OR "COMM" AS APPLICABLE ON PLAN.
2. VERIFY & COMPLY WITH HECO, HAWAIIAN TEL AND OCEANIC REQUIREMENTS.

APPROVED BY: \_\_\_\_\_ Date \_\_\_\_\_  
Chief, Civil Engineering Branch, DPP



HAWAII PUBLIC HOUSING AUTHORITY DEPARTMENT OF HUMAN SERVICES STATE OF HAWAII	PUBLIC WORKS ADMINISTRATION PHALO VALLEY HOMES MODERNIZATION PHASE 3	DATE: 05-27-16 TIME: 17:52	SHEET NO.: 97 TOTAL SHEETS: 98
HAWAIIAN/CIVIL AND ASSOCIATES, INC. 15-016-108-2 DATE: 05-08-16	DRAWING NO.: ES1	SCALE: AS NOTED	SHEET NO.: 97 TOTAL SHEETS: 98